

119.7

12/1/04

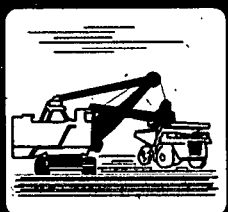
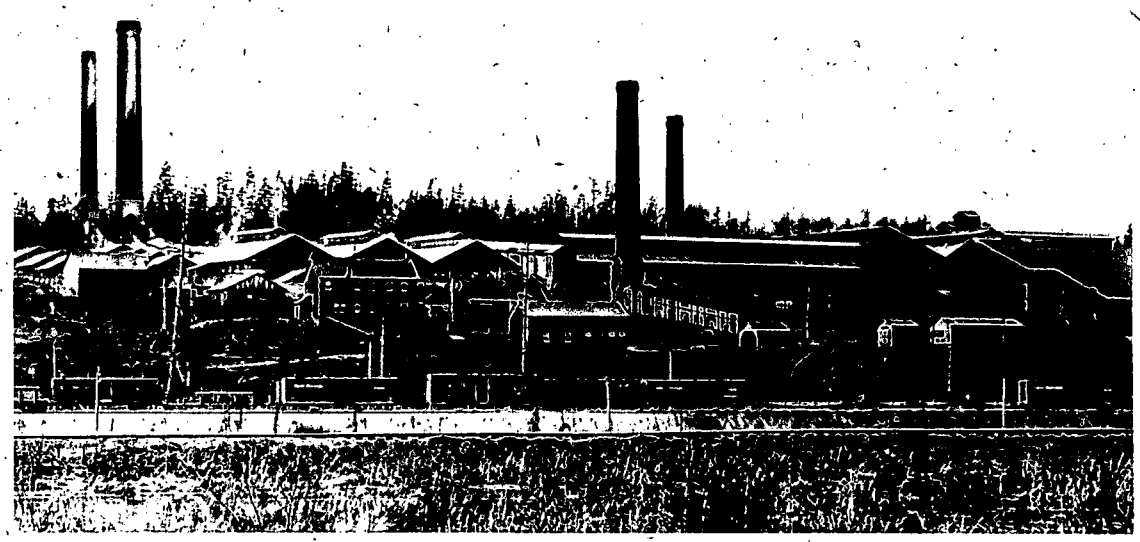
RECEIVED

DEC 13 2004

Environmental Cleanup Office

Annual Residential Report August - October 2004

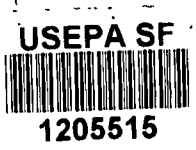
Everett, Washington



Prepared By:

ASARCO Consulting, Inc.

December 2004



**2004 ANNUAL PROJECT COMPLETION REPORT
AUGUST 2004 – OCTOBER 2004**

**EXCAVATION AND REMOVAL OF RESIDENTIAL SOILS
EVERETT, WASHINGTON**

1. Sampling was conducted during this period. The total for 2004 was 215 confirmational samples completed.
2. Remediation occurred through this period, with 10 properties for this year.
3. Attached for each site is the address and description of the property, property owner, description of remediation that took place, site plan and confirmational sample results.
4. An index is provided for reference.

INDEX OF SITES

SITE CODE	ADDRESS	OWNER
IA-3	522 Hawthorne Street	Everett Housing Authority
IA-8	545 Hawthorne Street	Everett Housing Authority
IA-14	536 Pilchuck Path	Gary VanHorn
IA-15	544 Pilchuck Path	Everett Housing Authority
IA-16	616 Pilchuck Path	Everett Housing Authority
IA-17	620 Pilchuck Path	Everett Housing Authority
IA-18	555 Pilchuck Path	Everett Housing Authority
IA-25	558 East Marine View Drive	Everett Housing Authority
IA-26	560 East Marine View Drive	Everett Housing Authority
IA-27	566 Butler Street	Everett Housing Authority

2004 ANNUAL PROJECT COMPLETION REPORT

Excavation and Removal of Soils
Everett, Washington

Site Code: IA-3

Address: 522 Hawthorne Street

Property Use: Private
Property Owner: Everett Housing Authority

Description of Remediation that took place: Remediated seven of seven decision units.

Enclosures:
Site Plan
Confirmational Sampling Results

EXISTING CONFIGURATION NOTES

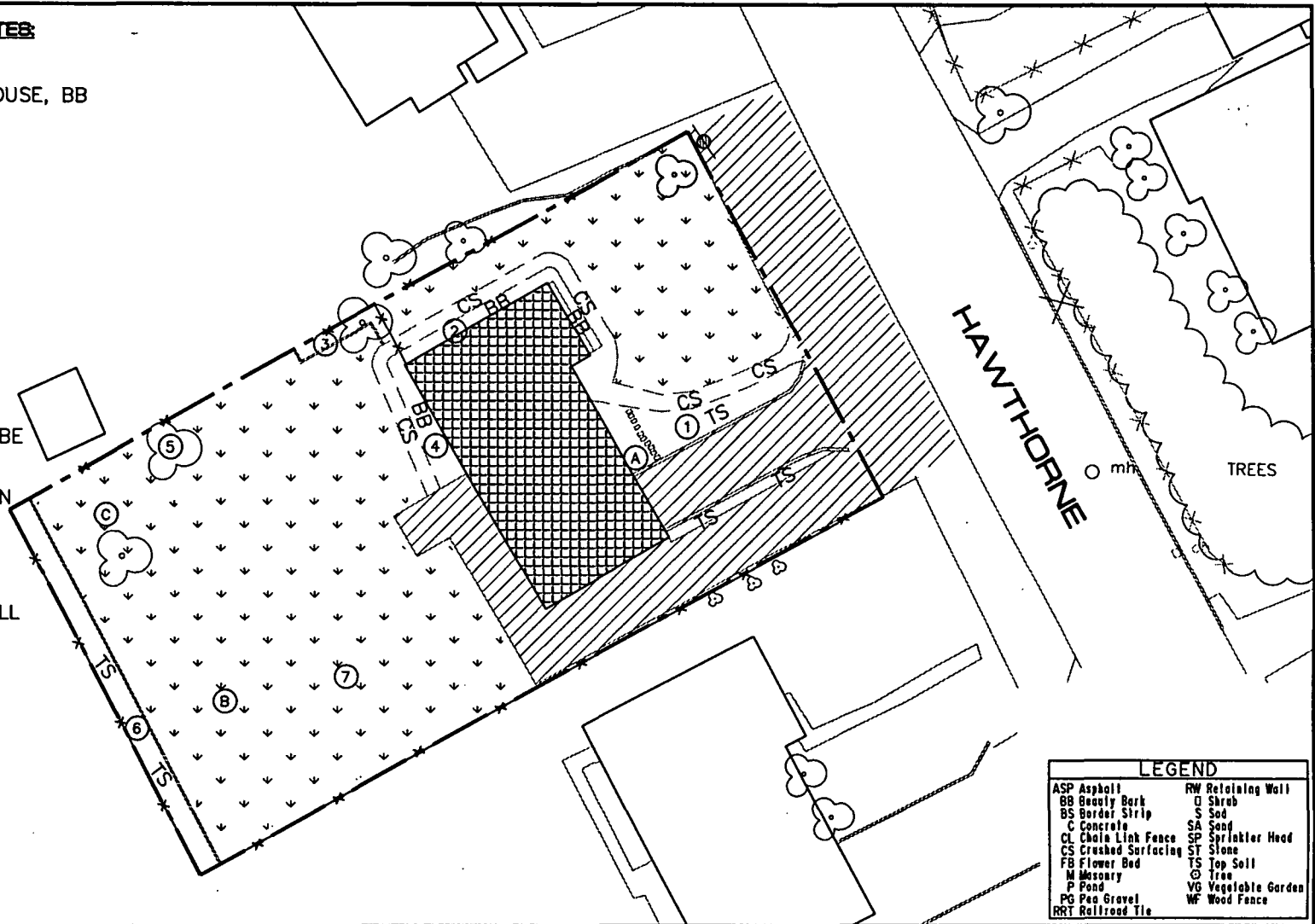
- ① TREE/SHRUB/FB AREA, BB
- ② SHRUB/FB AREA ALONG HOUSE, BB
- ③ SHRUB/FB, TS, C.BS
- ④ SHRUB/FB AREA, TS
- ⑤ TREE/FB, BB, LST.BS
- ⑥ 4' FB, TS, C.BS
- ⑦ FRUIT TREE
- Ⓐ UST CAP
- Ⓑ STUMP
- Ⓒ BB AREA, PL.BS

**SITE TO BE RECONSTRUCTED
TO EXISTING CONFIGURATION
UNLESS NOTED BELOW.**

PLANTS/SHRUBS/HEDGES TO BE
REMOVED UNLESS TAGGED

OWNER TO REMOVE FENCES ON
N & E PROPERTY LINES

- ⑤ OWNER TO REMOVE TREE
- Ⓐ OWNER TO PUMP TANK
MRC TO REMOVE & BACKFILL
- ② ③ ④ REPLACE WITH BB
- Ⓑ ⑤ REMOVE STUMP
- ⑦ REMOVE FRUIT TREE
REMOVE C. CURB ON
N. PROPERTY LINE



LEGEND	
ASP Asphalt	RW Retaining Wall
BB Barely Bark	S Shrub
BS Border Strip	S Sod
C Concrete	SA Sand
CL Chain Link Fence	SP Sprinkler Head
CS Crushed Surfacing	ST Stone
FB Flower Bed	TS Top Soil
M Masonry	⊙ Tree
P Pond	VG Vegetable Garden
PG Pea Gravel	WF Wood Fence
RRR Railroad Tie	

09/28/04

PROPOSED CONFIGURATION

IA3W4



0 10 20 30
SCALE IN FEET

Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-3

SITE ADDRESS: 522 Hawthorne

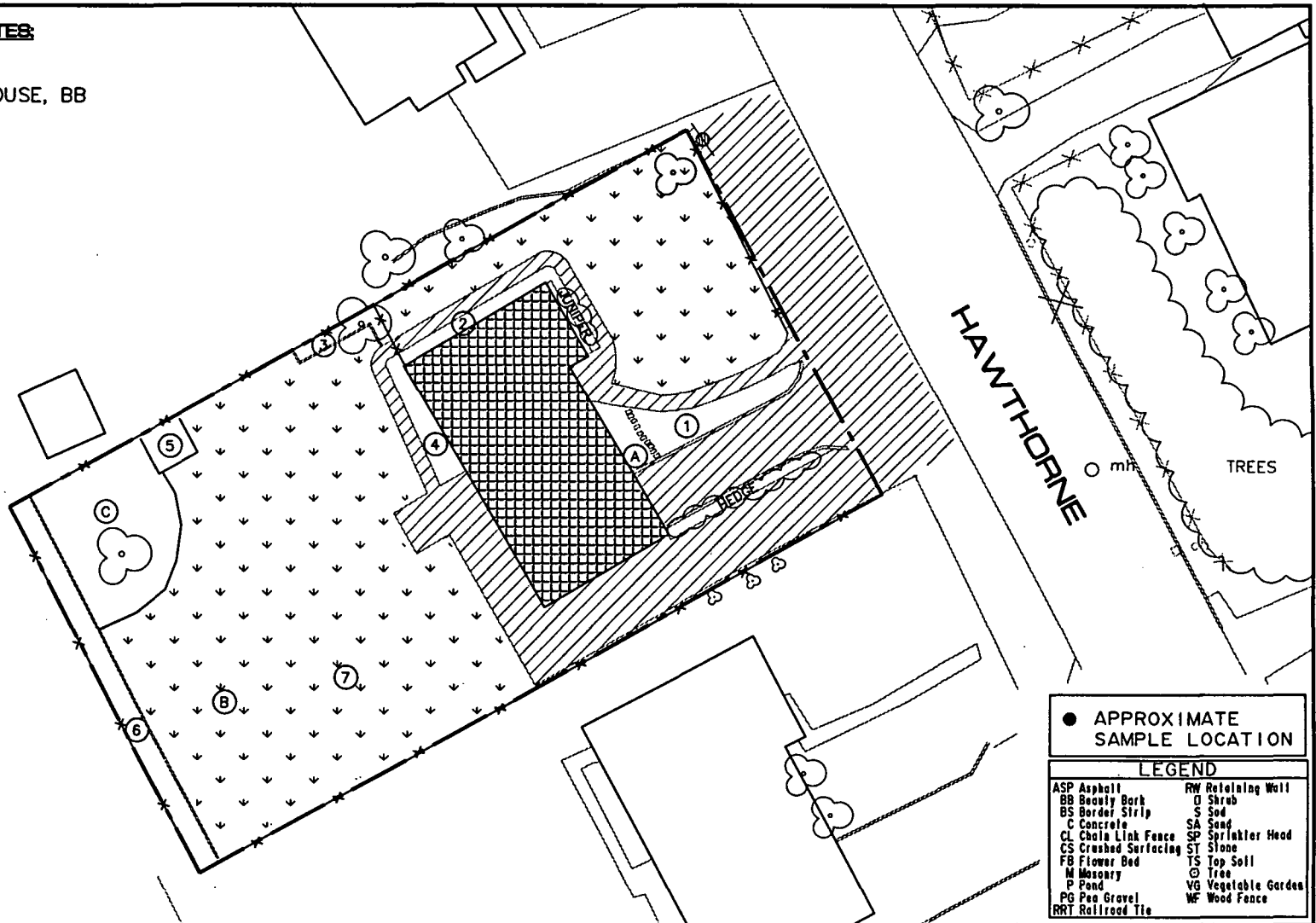
PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT:

EXISTING CONFIGURATION NOTES:

- ① TREE/SHRUB/FB AREA, BB
- ② SHRUB/FB AREA ALONG HOUSE, BB
- ③ SHRUB/FB, TS, C.BS
- ④ SHRUB/FB AREA, TS
- ⑤ TREE/FB, BB, LST.BS
- ⑥ 4' FB, TS, C.BS
- ⑦ FRUIT TREE
- Ⓐ UST CAP
- Ⓑ STUMP
- Ⓒ BB AREA, PL.BS

**SITE TO BE RECONSTRUCTED
TO EXISTING CONFIGURATION
UNLESS NOTED BELOW.**



● APPROXIMATE
SAMPLE LOCATION

LEGEND

ASP Asphalt	RW Retaining Wall
BB Bevelly Bark	S Shrub
BS Border Strip	SA Sand
C Concrete	SP Sprinkler Head
CL Chain Link Fence	ST Stone
CS Crushed Surfacing	TS Top Soil
FB Flower Bed	T Tree
M Masonry	VG Vegetable Garden
P Pond	WF Wood Fence
PG Poa Gravel	
RRT Railroad Tie	

09/22/04

EXISTING CONFIGURATION

IA3W4



0 10 20 30
SCALE IN FEET

Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-3

SITE ADDRESS: 522 Hawthorne

PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT: _____

REMEDIATION AREA

DU-1 = 1020sf
 DU-2 = 1084sf
 DU-3 = 1117sf
 DU-4 = 1059sf
 DU-5 = 1059sf
 DU-6 = 1059sf
 DU-7 = 890sf

COMPOSITE	
DEPTH	As (ppm)
36" - 42"	78

COMPOSITE	
DEPTH	As (ppm)
36" - 42"	85

COMPOSITE	
DEPTH	As (ppm)
36" - 42"	<10

COMPOSITE	
DEPTH	As (ppm)
36" - 42"	17

COMPOSITE	
DEPTH	As (ppm)
36" - 42"	17

COMPOSITE	
DEPTH	As (ppm)
36" - 42"	<10

COMPOSITE	
DEPTH	As (ppm)
36" - 42"	18

LEGEND	
ASP Asphalt	RW Retaining Wall
BB Beauty Bark	S Shrub
BS Border Strip	S Sod
C Concrete	SA Sand
CL Chain Link Fence	SP Sprinkler Head
CS Crushed Surfacing	ST Stone
FB Flower Bed	TS Top Soil
M Masonry	T Tree
P Pond	VG Vegetable Garden
PG Pea Gravel	WF Wood Fence
RRT Railroad Tie	

09/22/04

PERFORMANCE MONITORING

IA3W4



0 10 20 30
 SCALE IN FEET

Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-3

SITE ADDRESS: 522 Hawthorne

PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT:

2004 ANNUAL PROJECT COMPLETION REPORT

**Excavation and Removal of Soils
Everett, Washington**

Site Code: IA-8

Address: 545 Hawthorne Street

**Property Use: Private
Property Owner: Everett Housing Authority**

Description of Remediation that took place: Remediated four of four decision units.

**Enclosures:
Site Plan
Confirmational Sampling Results**

EXISTING CONFIGURATION NOTES:

- ① 3'-9" FB AREA, TS
- ② FB AREA, TS
- ③ FB AREA, TS
- ④ 8' HEDGE, TS, BB
- ⑤ TREE WITH BB
- ⑥ FERNS UNDER STAIRS
- ⑦ TREE
- Ⓐ CRUSHED ROCK ON TS
- Ⓑ ROCK AND GRAVEL
- Ⓒ 5-12"X12" CONCRETE PAVERS

**SITE TO BE RECONSTRUCTED
TO EXISTING CONFIGURATION
UNLESS NOTED BELOW.**

- Ⓒ REMOVE WITH SOIL
- Ⓓ EHA TO REMOVE SHED
- Ⓔ EHA TO REMOVE DECK
- ④ EHA TO REMOVE HEDGE
- ⑦ EHA TO REMOVE TREE

PLANTS/SHRUBS TO BE
REMOVED UNLESS TAGGED

NOTE: BOTH CRAWL SPACES REQUIRE
OWNER TO AFFIX A WARNING PLACARD
AND LOCK TO THE CRAWL SPACE
ENTRYS. IN ADDITION, CRAWL SPACE 2
REQUIRES A DURABLE PLASTIC BARRIER
PLACED ON TOP OF THE SOIL.

HAWTHORNE ST.

LEGEND	
ASP Asphalt	RW Retaining Wall
BB Beauty Bark	S Shrub
BS Border Strip	S Sod
C Concrete	SA Sand
CL Chain Link Fence	SP Sprinkler Head
CS Crushed Surfacing	ST Stone
FB Flower Bed	TS Top Soil
M Masonry	T Tree
P Pond	VG Vegetable Garden
PG Pea Gravel	WF Wood Fence
RRT Railroad Tie	

07/29/04

PROPOSED CONFIGURATION

IA8ME4



0 15 30
SCALE IN FEET

Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-8

SITE ADDRESS: 545 HAWTHORNE ST

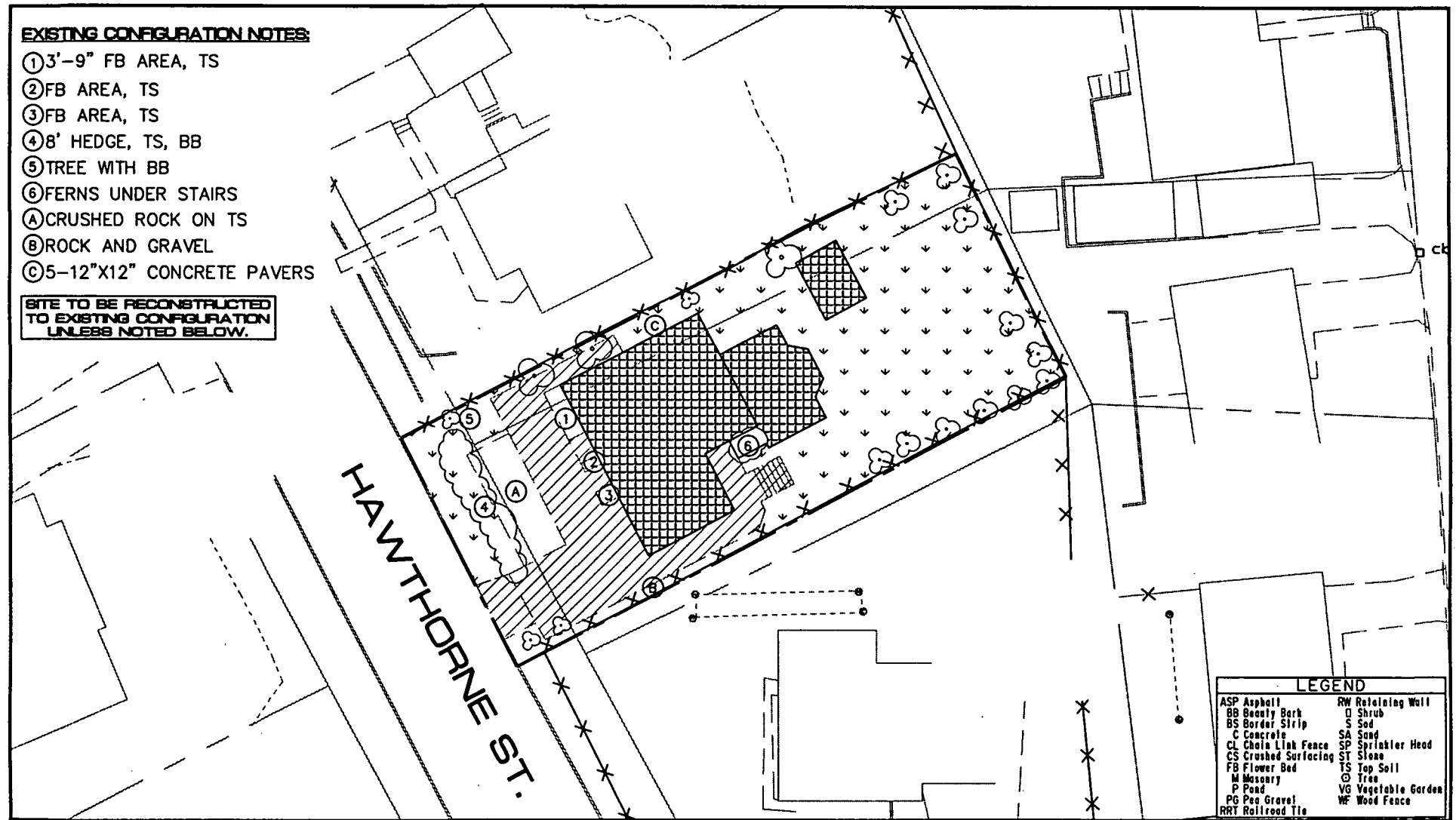
PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT: _____

EXISTING CONFIGURATION NOTES:

- ① 3'-9" FB AREA, TS
- ② FB AREA, TS
- ③ FB AREA, TS
- ④ 8' HEDGE, TS, BB
- ⑤ TREE WITH BB
- ⑥ FERNS UNDER STAIRS
- Ⓐ CRUSHED ROCK ON TS
- Ⓑ ROCK AND GRAVEL
- Ⓒ 5-12"X12" CONCRETE PAVERS

**SITE TO BE RECONSTRUCTED
TO EXISTING CONFIGURATION
UNLESS NOTED BELOW.**



04/09/04

EXISTING CONFIGURATION

IA8ME4



0 15 30
SCALE IN FEET

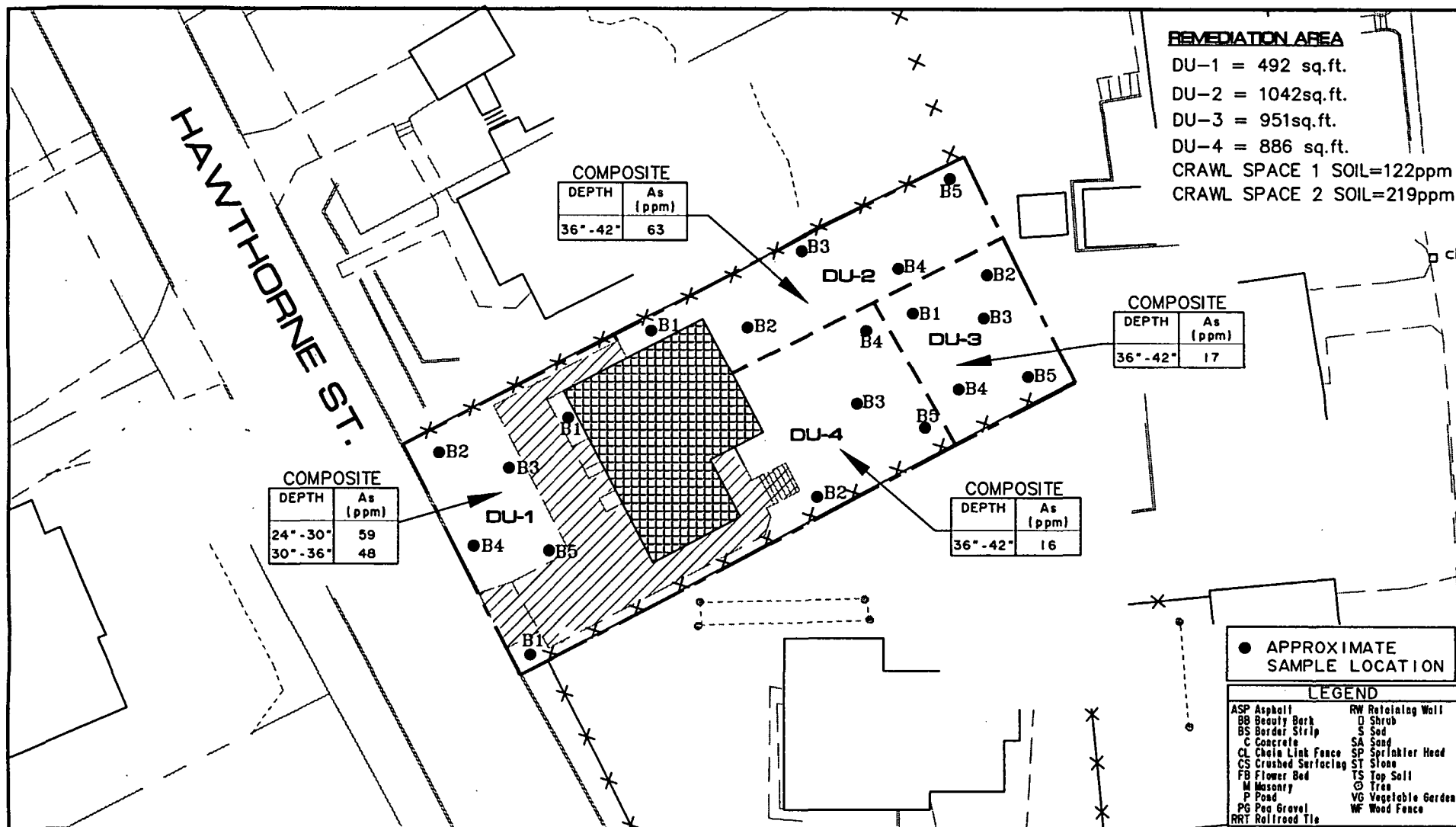
Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-8

SITE ADDRESS: 545 HAWTHORNE ST

PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT: _____



09/28/04

PERFORMANCE MONITORING

IA8ME4

Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-8

SITE ADDRESS: 545 HAWTHORNE ST

PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT: _____



0 15 30
SCALE IN FEET

2004 ANNUAL PROJECT COMPLETION REPORT

Excavation and Removal of Soils
Everett, Washington

Site Code: IA-14

Address: 536 Pilchuck Path

Property Use: Private
Property Owner: Gary VanHorn

Description of Remediation that took place: Remediated four of four decision units.

Enclosures:
Site Plan
Confirmational Sampling Results

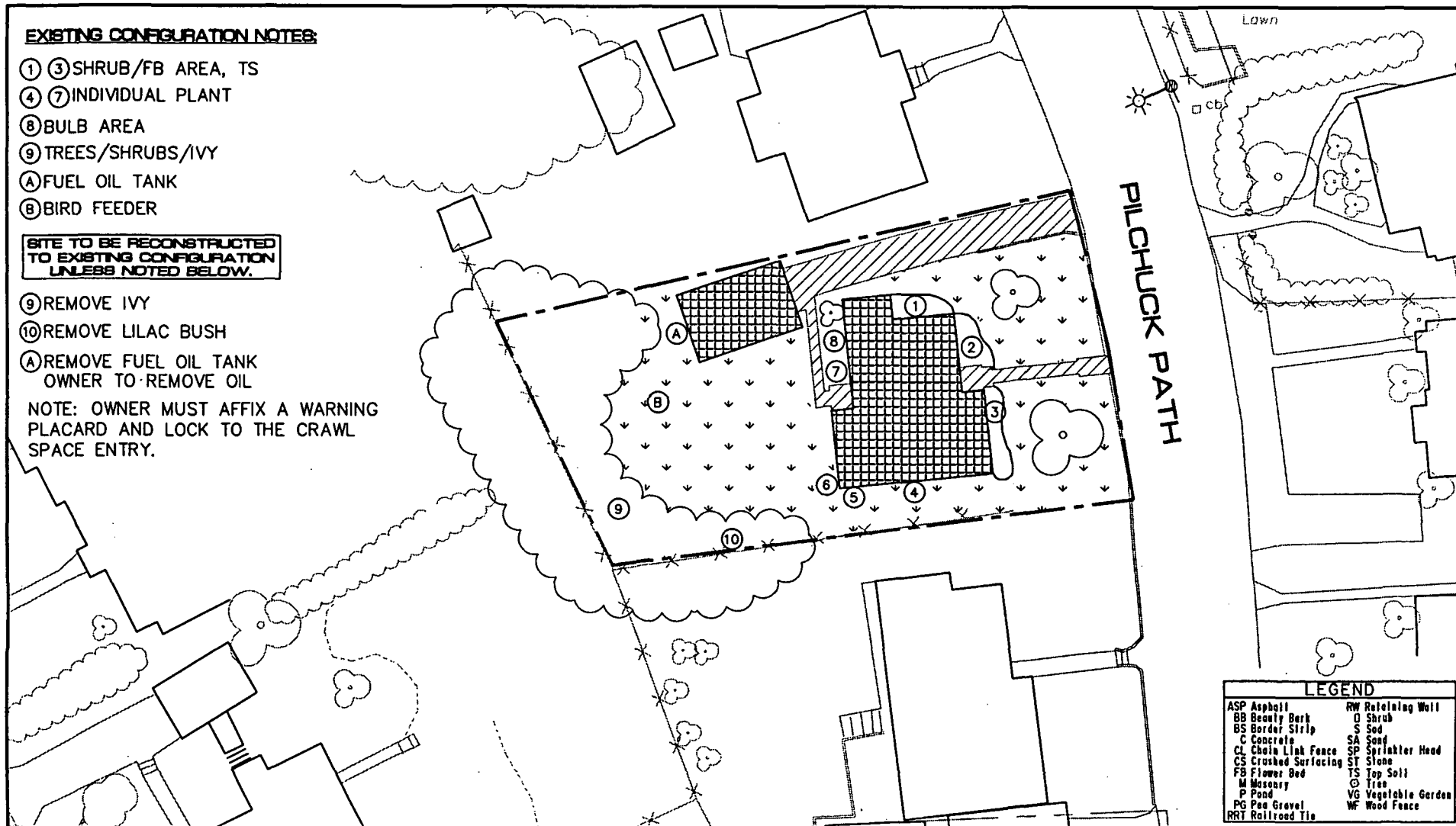
EXISTING CONFIGURATION NOTES:

- ① ③ SHRUB/FB AREA, TS
- ④ ⑦ INDIVIDUAL PLANT
- ⑧ BULB AREA
- ⑨ TREES/SHRUBS/IVY
- Ⓐ FUEL OIL TANK
- Ⓑ BIRD FEEDER

SITE TO BE RECONSTRUCTED TO EXISTING CONFIGURATION UNLESS NOTED BELOW.

- ⑨ REMOVE IVY
- ⑩ REMOVE LILAC BUSH
- Ⓐ REMOVE FUEL OIL TANK
OWNER TO REMOVE OIL

NOTE: OWNER MUST AFFIX A WARNING PLACARD AND LOCK TO THE CRAWL SPACE ENTRY.



LEGEND	
ASP Asphalt	RW Retaining Wall
BB Beauty Bark	S Shrub
BS Border Strip	SA Sand
C Concrete	SP Sprinkler Head
CL Chain Link Fence	ST Stone
CS Crushed Surfacing	TS Top Soil
FB Flower Bed	T Tree
M Masonry	VG Vegetable Garden
P Pond	WF Wood Fence
PG Pea Gravel	
RRR Railroad Tie	

09/20/04

PROPOSED CONFIGURATION

IAI4W4



SCALE IN FEET

Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-I4

SITE ADDRESS: 536 Pilchuck Path

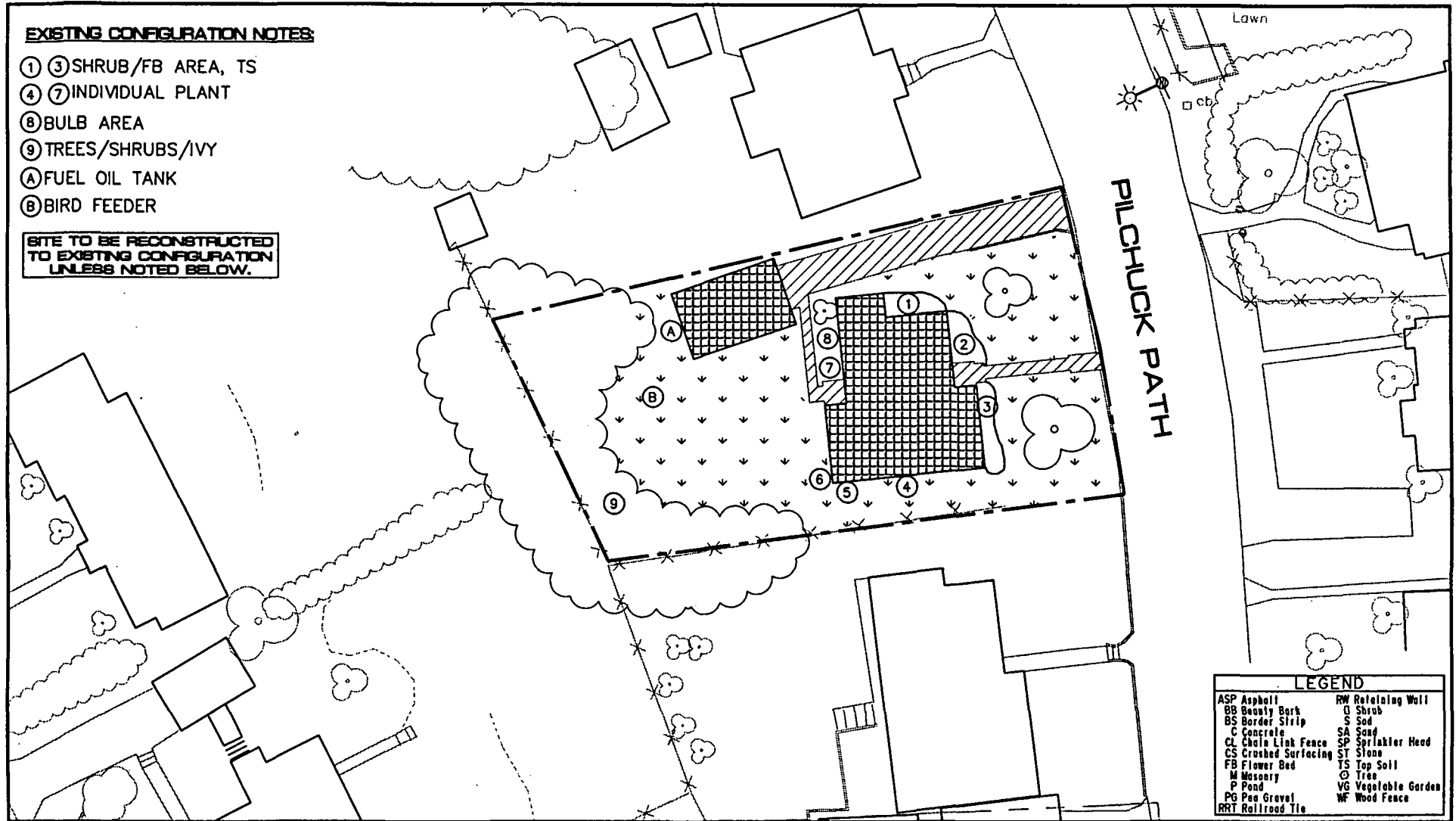
PROPERTY OWNER: Gary VanHorn

PROPERTY RESIDENT: _____

EXISTING CONFIGURATION NOTES:

- ① ③ SHRUB/FB AREA, TS
- ④ ⑦ INDIVIDUAL PLANT
- ⑧ BULB AREA
- ⑨ TREES/SHRUBS/IVY
- A FUEL OIL TANK
- B BIRD FEEDER

**SITE TO BE RECONSTRUCTED
TO EXISTING CONFIGURATION
UNLESS NOTED BELOW.**



LEGEND	
ASP Asphalt	RW Retaining Wall
BB Beauty Bark	S Shrub
BS Border Strip	S Sod
C Concrete	SA Sand
CL Chain Link Fence	SP Sprinkler Head
CS Crushed Surfacing	ST Stone
FB Flower Bed	TS Top Soil
M Masonry	T Tree
P Pond	VG Vegetable Garden
PG Pen Gravel	WF Wood Fence
RRT Railroad Tie	

09/15/04

EXISTING CONFIGURATION

IAI4W4



0 10 20 30
SCALE IN FEET

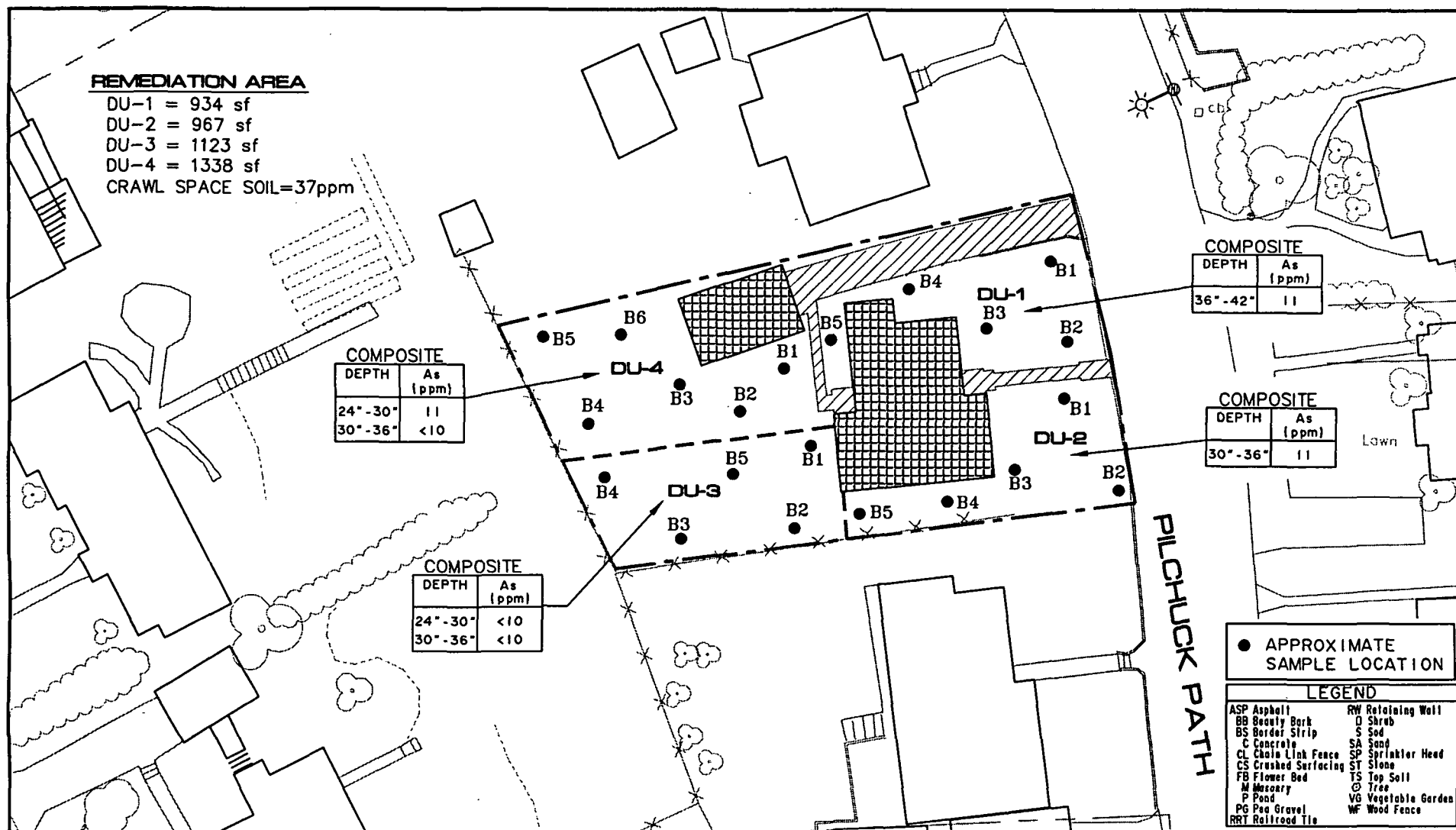
Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-I4

SITE ADDRESS: 536 Pilchuck Path

PROPERTY OWNER: Gary VanHorn

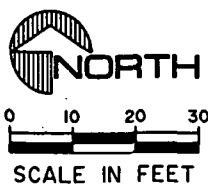
PROPERTY RESIDENT:



09/30/04

PERFORMANCE MONITORING

IAI4W4



Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-I4

SITE ADDRESS: 536 Pilchuck Path

PROPERTY OWNER: Gary VanHorn

PROPERTY RESIDENT:

2004 ANNUAL PROJECT COMPLETION REPORT

Excavation and Removal of Soils
Everett, Washington

Site Code: IA-15

Address: 544 Pilchuck Path

Property Use: Private
Property Owner: Everett Housing Authority

Description of Remediation that took place: Remediated five of five decision units.

Enclosures:
Site Plan
Confirmational Sampling Results

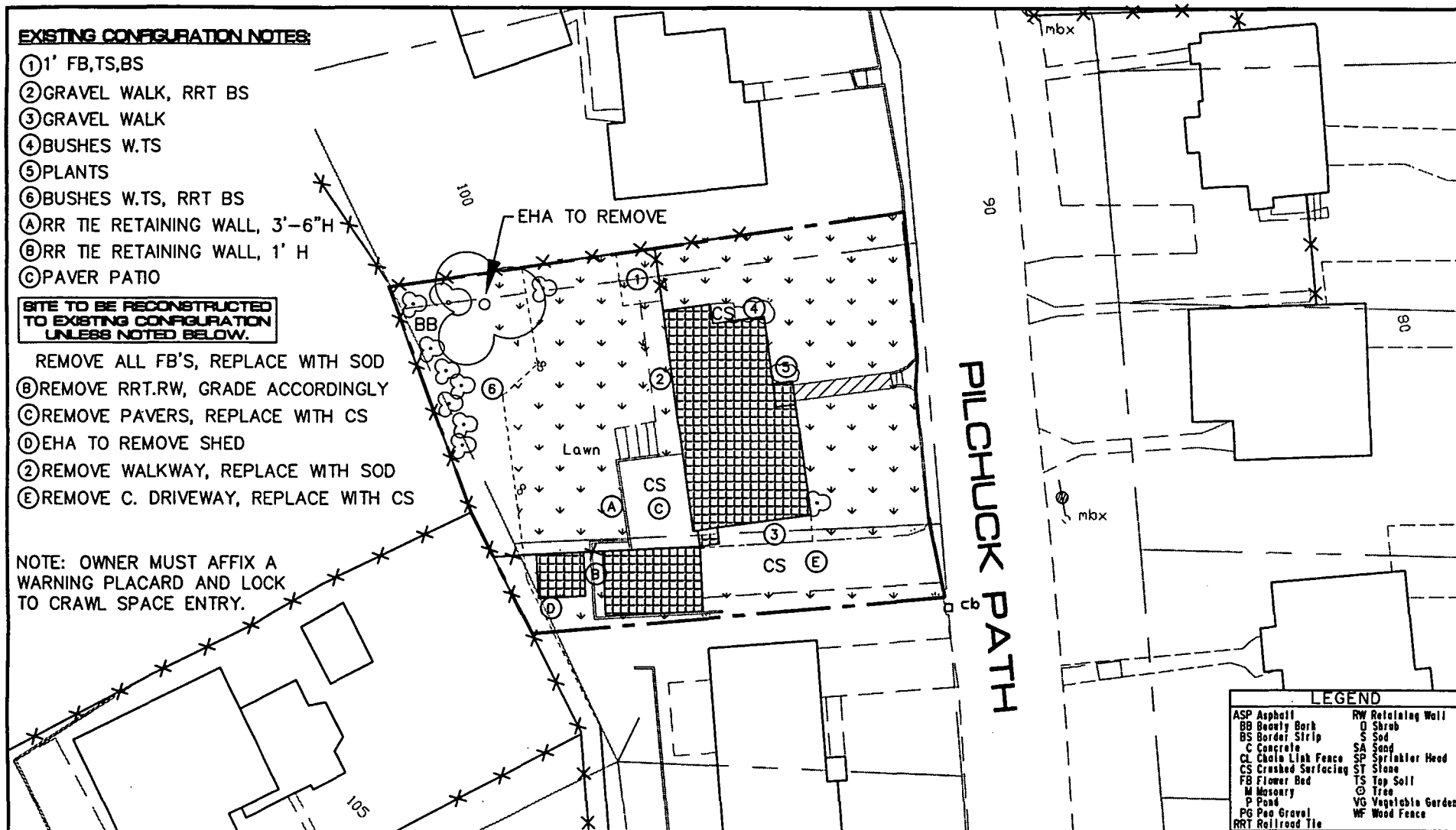
EXISTING CONFIGURATION NOTES:

- ① 1' FB, TS, BS
- ② GRAVEL WALK, RRT BS
- ③ GRAVEL WALK
- ④ BUSHES W.TS
- ⑤ PLANTS
- ⑥ BUSHES W.TS, RRT BS
- Ⓐ RR TIE RETAINING WALL, 3'-6"H
- Ⓑ RR TIE RETAINING WALL, 1' H
- Ⓒ PAVER PATIO

SITE TO BE RECONSTRUCTED TO EXISTING CONFIGURATION UNLESS NOTED BELOW.

- REMOVE ALL FB'S, REPLACE WITH SOD
- Ⓑ REMOVE RRT.RW, GRADE ACCORDINGLY
- Ⓒ REMOVE PAVERS, REPLACE WITH CS
- Ⓓ EHA TO REMOVE SHED
- ② REMOVE WALKWAY, REPLACE WITH SOD
- Ⓔ REMOVE C. DRIVEWAY, REPLACE WITH CS

NOTE: OWNER MUST AFFIX A WARNING PLACARD AND LOCK TO CRAWL SPACE ENTRY.



LEGEND	
ASP Asphalt	RW Retaining Wall
BB Beauty Bark	S Shrub
BS Border Strip	S Sod
C Concrete	SA Sand
CL Chain Link Fence	SP Sprinkler Head
CS Crushed Surfacing	ST Stone
FB Flower Bed	TS Top Soil
M Masonry	T Tree
P Pond	VG Vegetable Garden
PG Pea Gravel	WF Wood Fence
RRT Railroad Tie	

07/29/04

PROPOSED CONFIGURATION

IA15ME4



0 15 30
SCALE IN FEET

Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-15

SITE ADDRESS: 544 Pilchuck Path

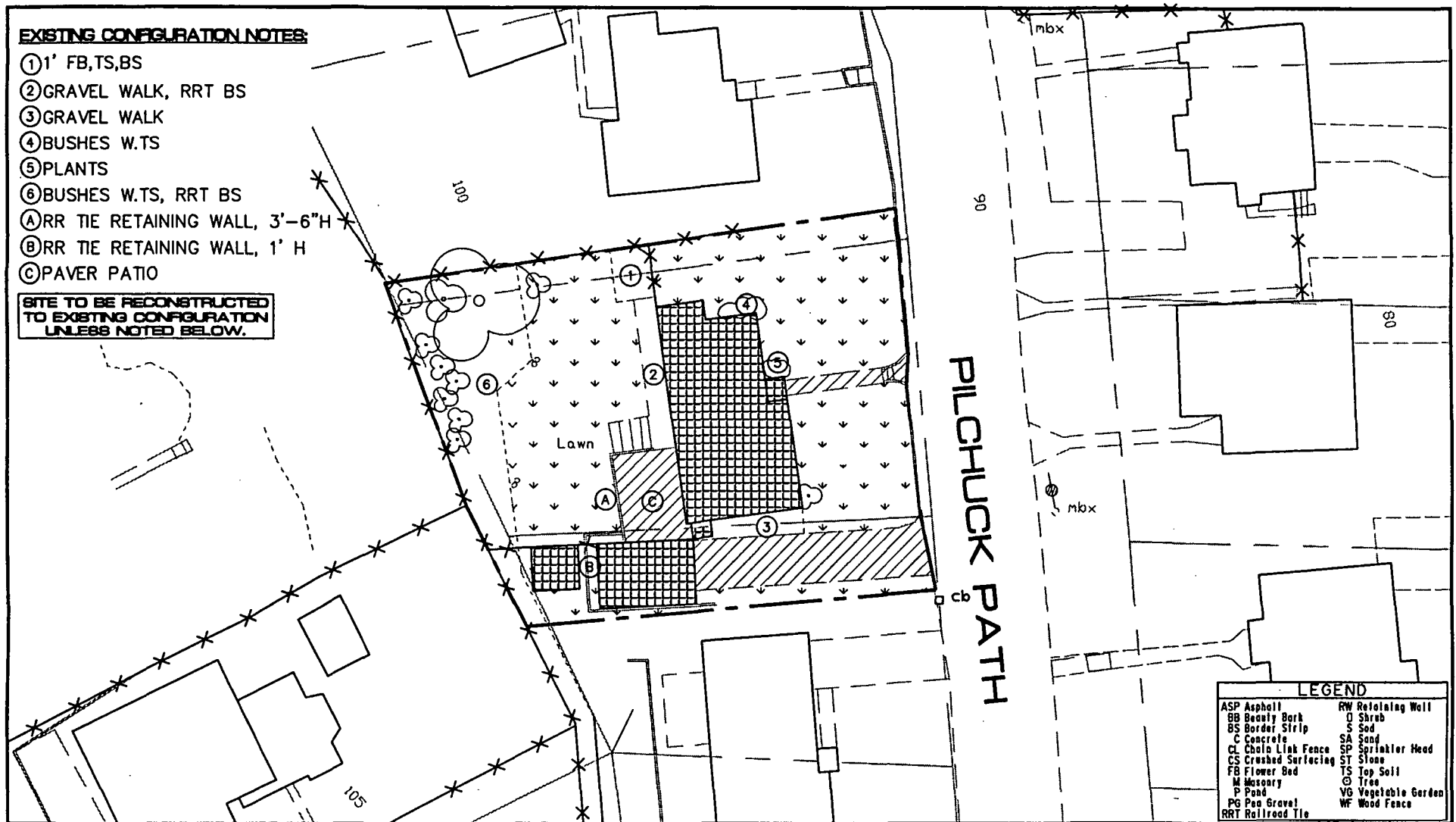
PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT:

EXISTING CONFIGURATION NOTES:

- ① 1' FB, TS, BS
- ② GRAVEL WALK, RRT BS
- ③ GRAVEL WALK
- ④ BUSHES W.TS
- ⑤ PLANTS
- ⑥ BUSHES W.TS, RRT BS
- Ⓐ RR TIE RETAINING WALL, 3'-6"H
- Ⓑ RR TIE RETAINING WALL, 1' H
- Ⓒ PAVER PATIO

**SITE TO BE RECONSTRUCTED
TO EXISTING CONFIGURATION
UNLESS NOTED BELOW.**



04/12/04

EXISTING CONFIGURATION

IA15ME4



0 15 30
SCALE IN FEET

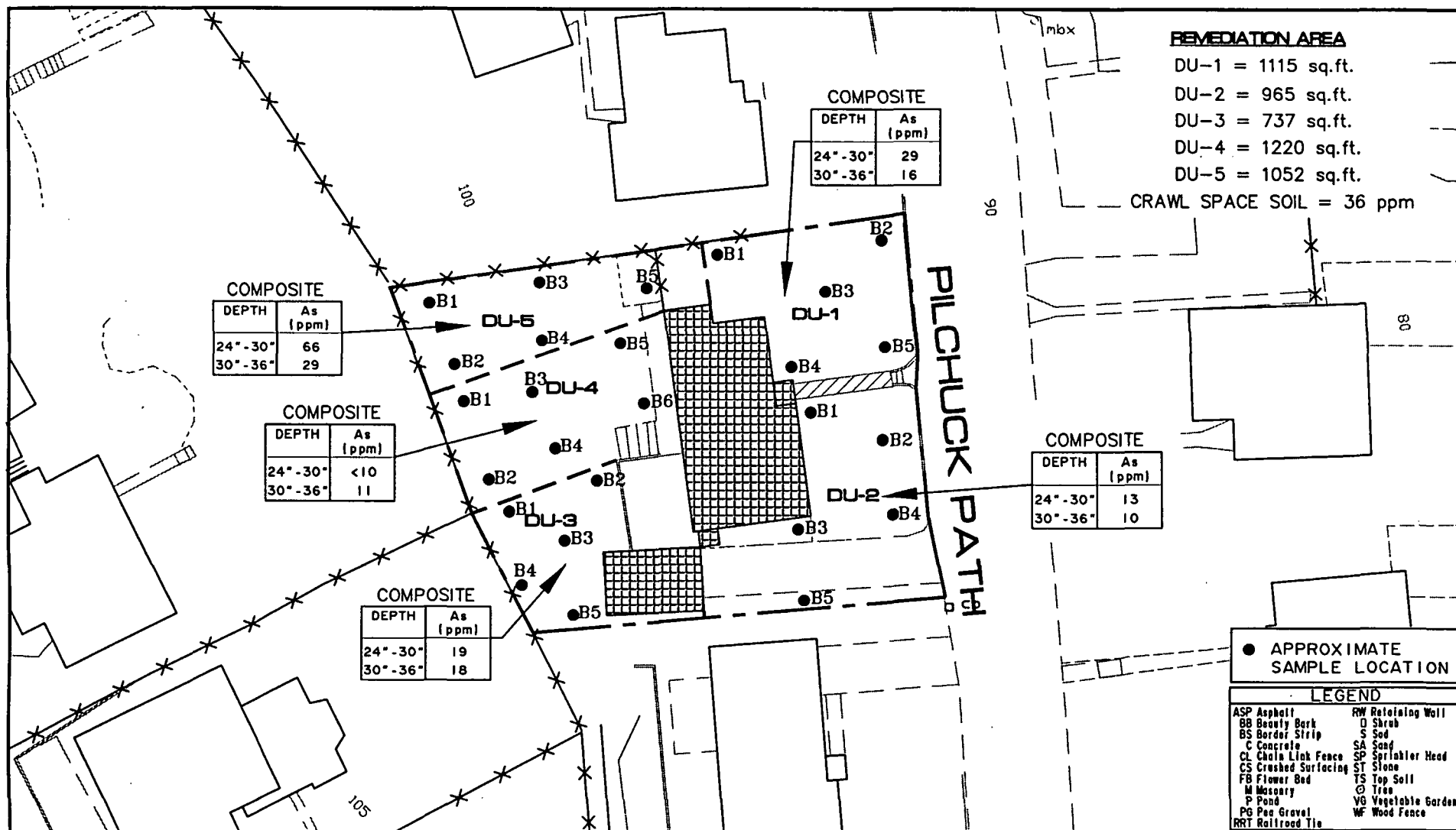
Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-15

SITE ADDRESS: 544 Pilchuck Path

PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT:



04/14/04

PERFORMANCE MONITORING

IAI5ME4

Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-I5

SITE ADDRESS: 544 Pilchuck Path

PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT: _____



0 15 30
SCALE IN FEET

2004 ANNUAL PROJECT COMPLETION REPORT

Excavation and Removal of Soils
Everett, Washington

Site Code: IA-16

Address: 616 Pilchuck Path

Property Use: Private
Property Owner: Everett Housing Authority

Description of Remediation that took place: Remediated four of four decision units.

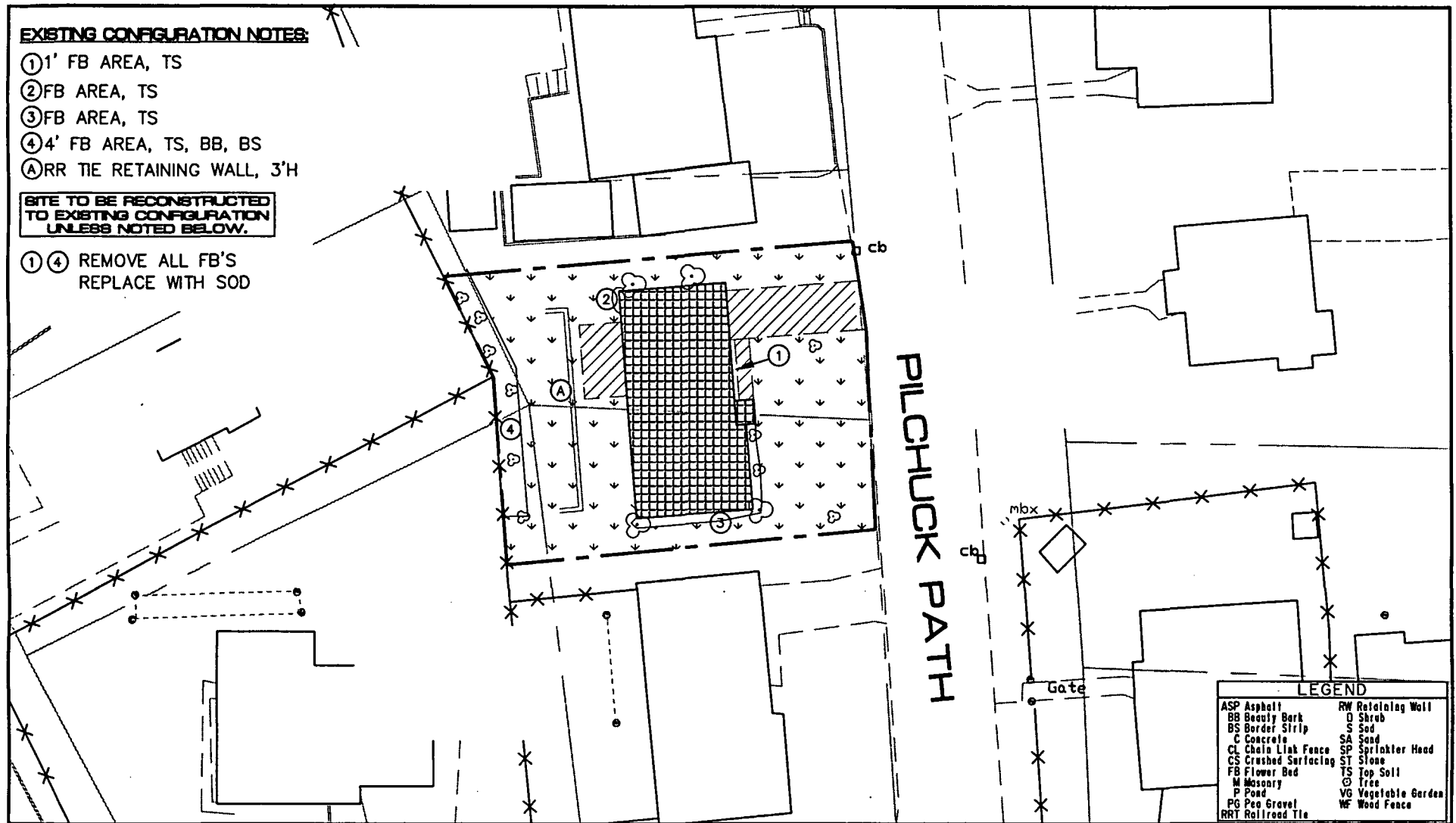
Enclosures:
Site Plan
Confirmational Sampling Results

EXISTING CONFIGURATION NOTES:

- ① 1' FB AREA, TS
- ② FB AREA, TS
- ③ FB AREA, TS
- ④ 4' FB AREA, TS, BB, BS
- Ⓐ RR TIE RETAINING WALL, 3'H

**SITE TO BE RECONSTRUCTED
TO EXISTING CONFIGURATION
UNLESS NOTED BELOW.**

- ① ④ REMOVE ALL FB'S
REPLACE WITH SOD



LEGEND	
ASP Asphalt	RW Retaining Wall
BB Beauty Bark	S Sod
BS Border Strip	SA Sand
C Concrete	SP Sprinkler Head
CL Chain Link Fence	ST Stone
CS Crushed Surfacing	TS Top Soil
FB Flower Bed	T Tree
M Masonry	VG Vegetable Garden
P Pond	WF Wood Fence
PG Pea Gravel	
RRT Railroad Tie	

07/29/04

PROPOSED CONFIGURATION

IA16ME4



0 15 30
SCALE IN FEET

Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-16

SITE ADDRESS: 616 Pilchuck Path

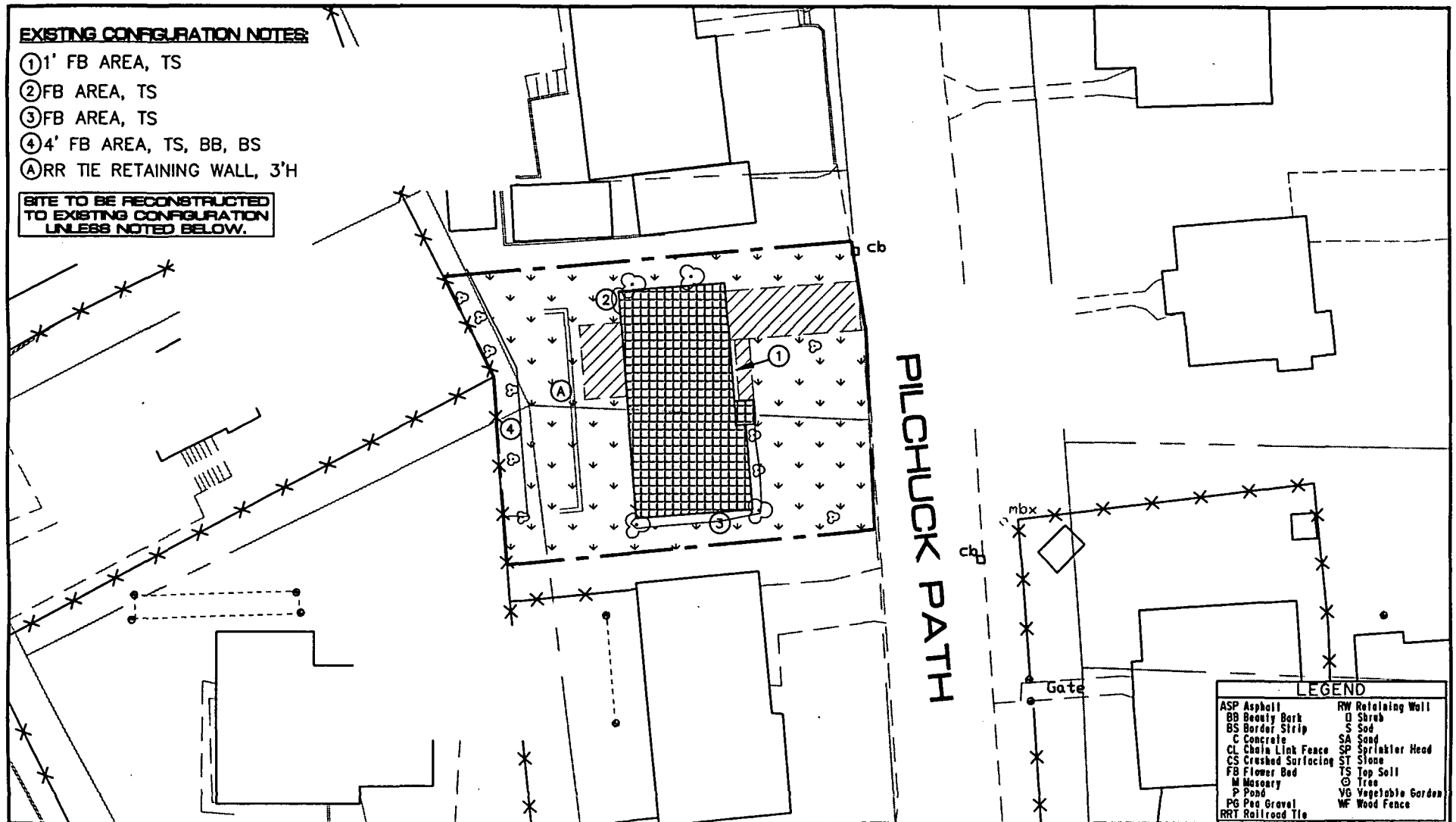
PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT:

EXISTING CONFIGURATION NOTES:

- ① 1' FB AREA, TS
- ② FB AREA, TS
- ③ FB AREA, TS
- ④ 4' FB AREA, TS, BB, BS
- Ⓐ RR TIE RETAINING WALL, 3'H

**SITE TO BE RECONSTRUCTED
TO EXISTING CONFIGURATION
UNLESS NOTED BELOW.**



LEGEND	
ASP Asphalt	RW Retaining Wall
BB Beauty Bark	S Sod
BS Border Strip	SA Sand
C Concrete	SP Sprinkler Head
CL Chain Link Fence	ST Stone
CS Crushed Surfacing	TS Top Soil
FB Flower Bed	T Tree
M Mosaic	VG Vegetable Garden
P Pond	WF Wood Fence
PG Pea Gravel	
RRT Railroad Tie	

04/12/04

EXISTING CONFIGURATION

IA16ME4



0 15 30
SCALE IN FEET

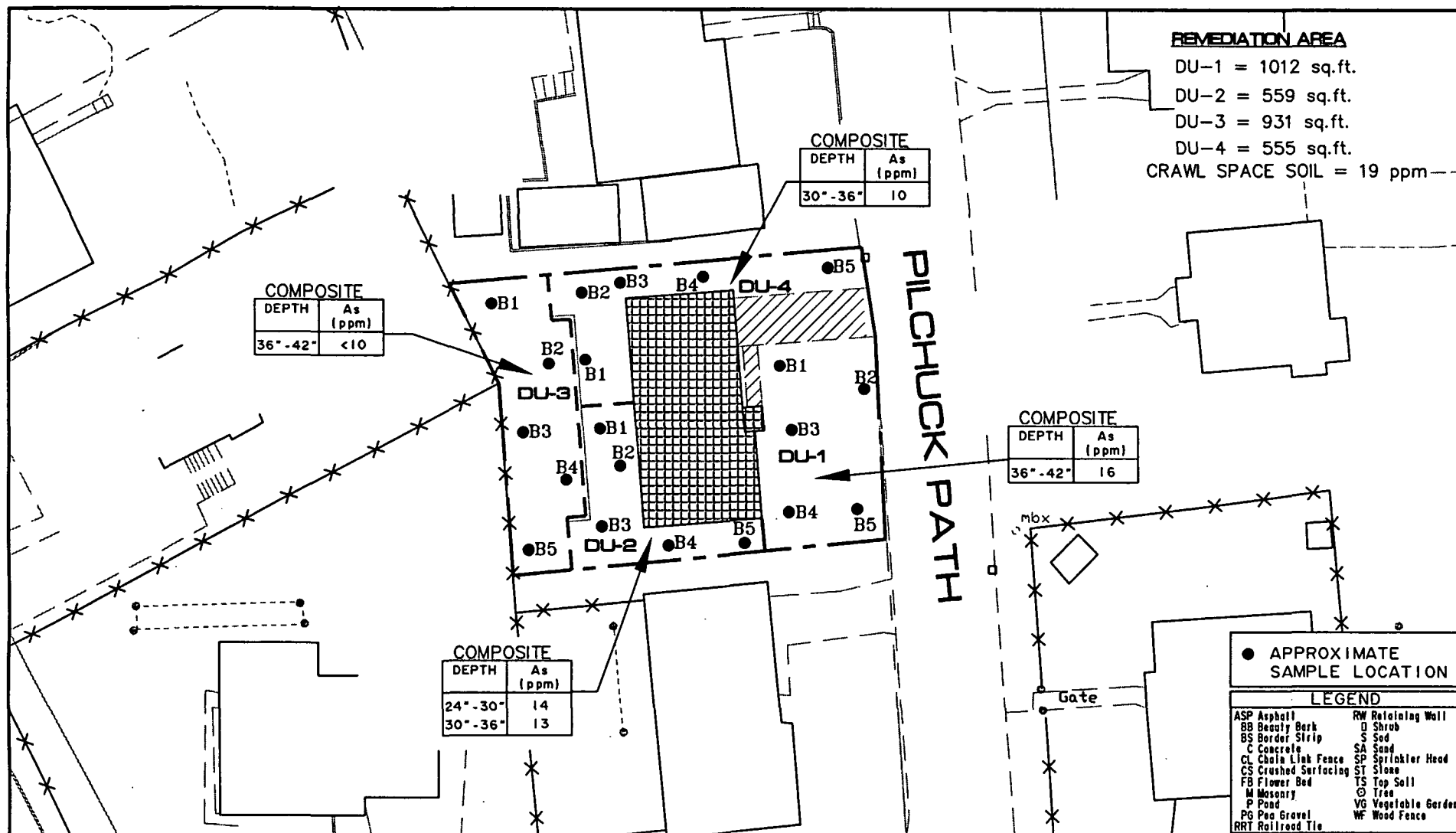
Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-16

SITE ADDRESS: 616 Pilchuck Path

PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT:



09/28/04

PERFORMANCE MONITORING

IAI6ME4

Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-I6

SITE ADDRESS: 616 Pilchuck Path

PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT:



0 15 30
SCALE IN FEET

2004 ANNUAL PROJECT COMPLETION REPORT

Excavation and Removal of Soils
Everett, Washington

Site Code: IA-17

Address: 620 Pilchuck Path

Property Use: Private
Property Owner: Everett Housing Authority

Description of Remediation that took place: Remediated five of five decision units.

Enclosures:
Site Plan
Confirmational Sampling Results

EXISTING CONFIGURATION NOTES:

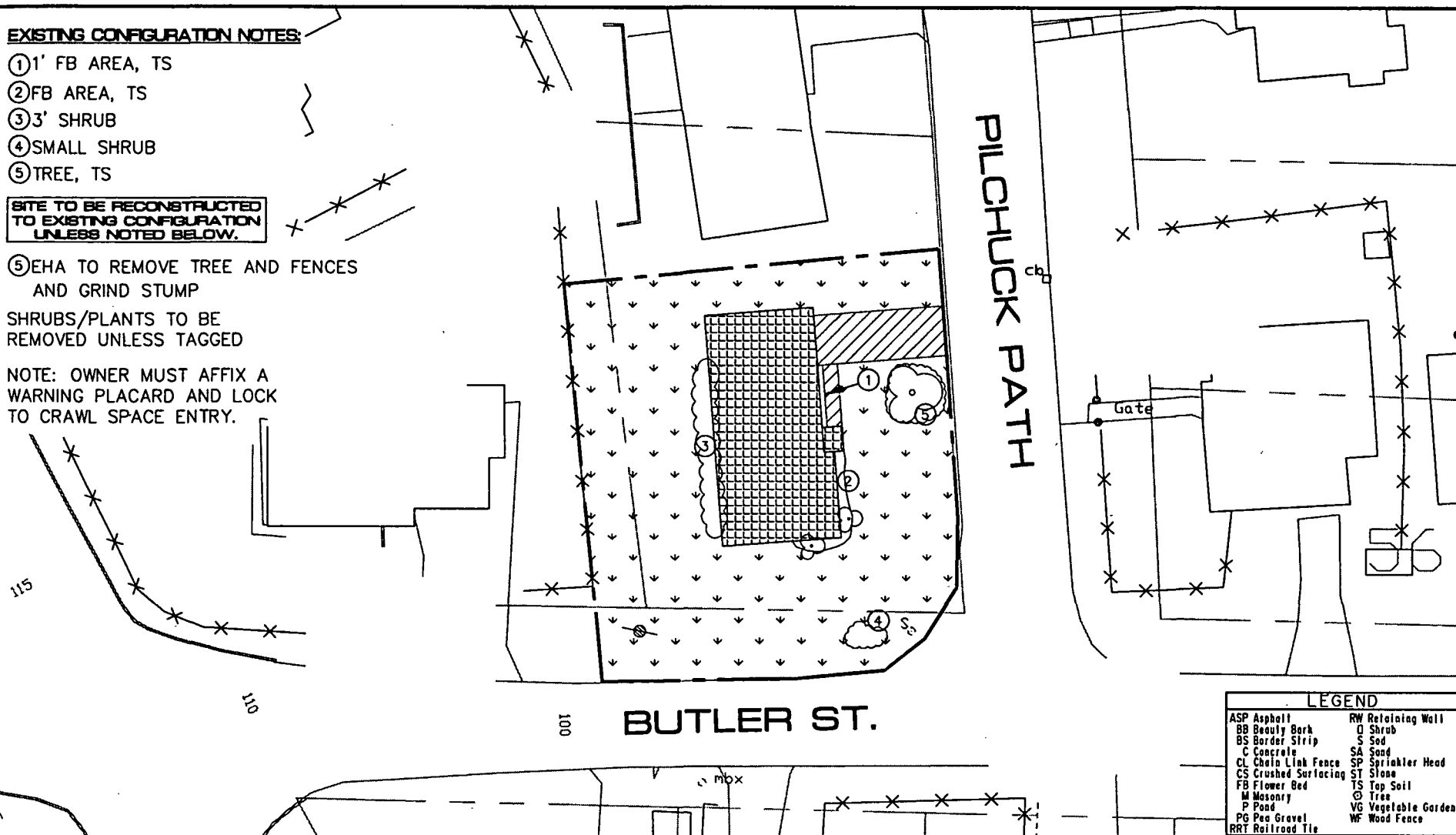
- ① 1' FB AREA, TS
- ② FB AREA, TS
- ③ 3' SHRUB
- ④ SMALL SHRUB
- ⑤ TREE, TS

SITE TO BE RECONSTRUCTED
TO EXISTING CONFIGURATION
UNLESS NOTED BELOW.

- ⑤ EHA TO REMOVE TREE AND FENCES
AND GRIND STUMP

SHRUBS/PLANTS TO BE
REMOVED UNLESS TAGGED

NOTE: OWNER MUST AFFIX A
WARNING PLACARD AND LOCK
TO CRAWL SPACE ENTRY.



07/29/04

PROPOSED CONFIGURATION

IA17ME4



0 15 30
SCALE IN FEET

Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-17

SITE ADDRESS: 620 Pilchuck Path

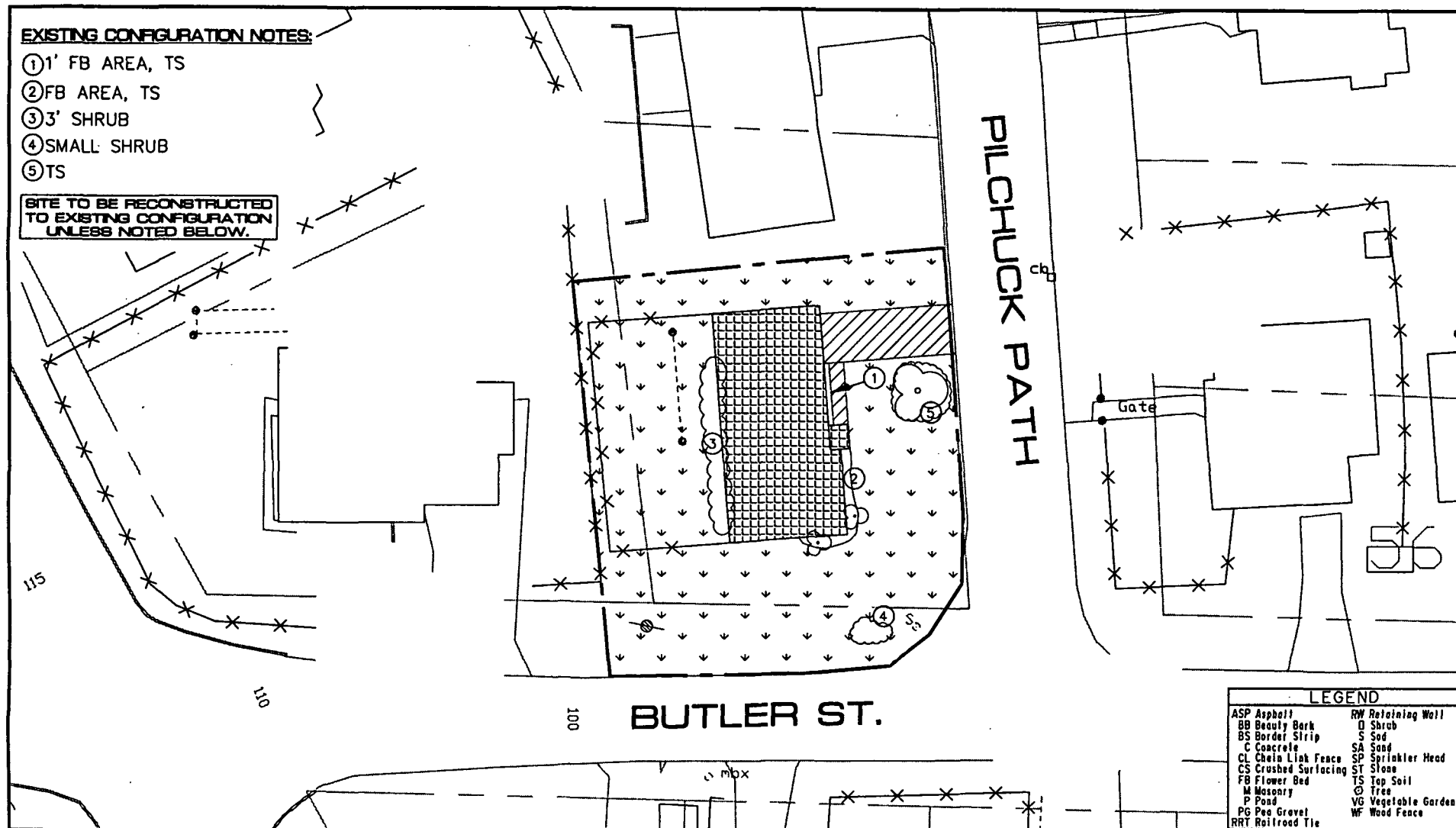
PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT: _____

EXISTING CONFIGURATION NOTES:

- ① 1' FB AREA, TS
- ② FB AREA, TS
- ③ 3' SHRUB
- ④ SMALL SHRUB
- ⑤ TS

**SITE TO BE RECONSTRUCTED
TO EXISTING CONFIGURATION
UNLESS NOTED BELOW.**



LEGEND	
ASP Asphalt	RW Retaining Wall
BB Beauty Bark	S Sod
BS Border Strip	SA Sand
C Concrete	SP Sprinkler Head
CL Chain Link Fence	ST Slope
CS Crushed Surfacing	TS Top Soil
FB Flower Bed	T Tree
M Masonry	VG Vegetable Garden
P Pond	WF Wood Fence
PG Pea Gravel	
RRT Railroad Tie	

04/12/04

EXISTING CONFIGURATION

IA17ME4

Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-17

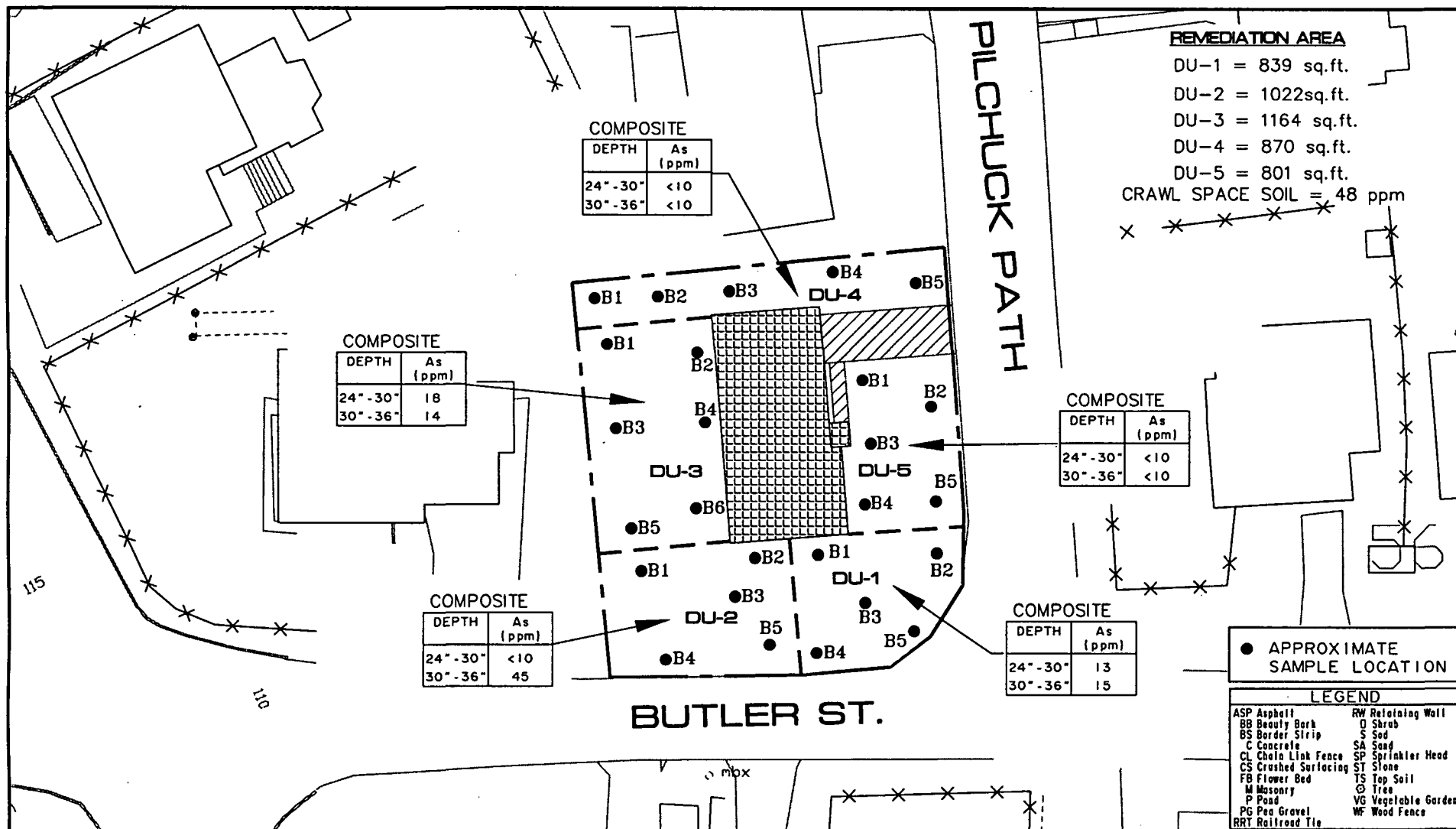
SITE ADDRESS: 620 Pilchuck Path

PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT: _____



0 15 30
SCALE IN FEET



09/28/04

PERFORMANCE MONITORING

IA17ME4

Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-17

SITE ADDRESS: 620 Pilchuck Path

PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT:



0 15 30
SCALE IN FEET

2004 ANNUAL PROJECT COMPLETION REPORT

Excavation and Removal of Soils
Everett, Washington

Site Code: IA-18

Address: 555 Pilchuck Path

Property Use: Private
Property Owner: Everett Housing Authority

Description of Remediation that took place: Remediated six of six decision units.

Enclosures:
Site Plan
Confirmational Sampling Results

EXISTING CONFIGURATION NOTES:

- ① 3'-6" FB,BS,TS
- ② 3'-6" FB,BS,TS
- ③ FB, BS
- ④ 1'-8" FB,BS, C
- Ⓐ RW, ROCK
- Ⓑ 4'-6" RW,C
- Ⓒ RW, ROCK
- Ⓓ RW, ROCK

SITE TO BE RECONSTRUCTED TO EXISTING CONFIGURATION UNLESS NOTED BELOW.

EHA TO REMOVE FENCES

Ⓐ REMOVE & SLOPE

① ② REMOVE FB'S, REPLACE WITH SOD

Ⓒ REMOVE RRW, GRADE WITH GRADUAL SLOPE TO BUTLER ST.

Ⓔ EHA WILL MOVE SHED TO REMEDIATE

Ⓕ REMOVE C./ REPLACE WITH CS

PLANTS/SHRUBS TO BE REMOVED UNLESS TAGGED

NOTE: REMOVE SOIL UNDER DECK

PILCHUCK PATH

BUTLER ST.

EHA TO REMOVE STAIRS

LEGEND	
ASP Asphalt	RW Retaining Wall
BB Beauty Bark	S Shrub
BS Border Strip	S Sod
C Concrete	SA Sand
CL Chain Link Fence	SP Sprinkler Head
CS Crushed Surfacing	ST Stone
FB Flower Bed	TS Top Soil
M Masonry	T Tree
P Pond	VG Vegetable Garden
PG Pea Gravel	WF Wood Fence
RRT Railroad Tie	

07/29/04

PROPOSED CONFIGURATION

IA18ME4



0 15 30
SCALE IN FEET

Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-18

SITE ADDRESS: 555 Pilchuck Path

PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT:

EXISTING CONFIGURATION NOTES:

- ① 3'-6" FB,BS,TS
- ② 3'-6" FB,BS,TS
- ③ FB, BS
- ④ 1'-8" FB,BS, C
- Ⓐ 3'-6" RW,ROCK
- Ⓑ 4'-6" RW,C
- Ⓒ RW, ROCK
- Ⓓ RW, ROCK

**SITE TO BE RECONSTRUCTED
TO EXISTING CONFIGURATION
UNLESS NOTED BELOW.**

PILCHUCK PATH

BUTLER ST.

LEGEND	
ASP Asphalt	RW Retaining Wall
BB Beavly Bark	S Shrub
BS Border Strip	S Sod
C Concrete	SA Sand
CL Chain Link Fence	SP Sprinkler Head
CS Crushed Surfacing	ST Stone
FB Flower Bed	TS Top Soil
M Masonry	T Tree
P Pond	VG Vegetable Garden
PG Pave Gravel	WF Wood Fence
RRT Railroad Tie	

04/13/04

EXISTING CONFIGURATION

IA18ME4



0 15 30
SCALE IN FEET

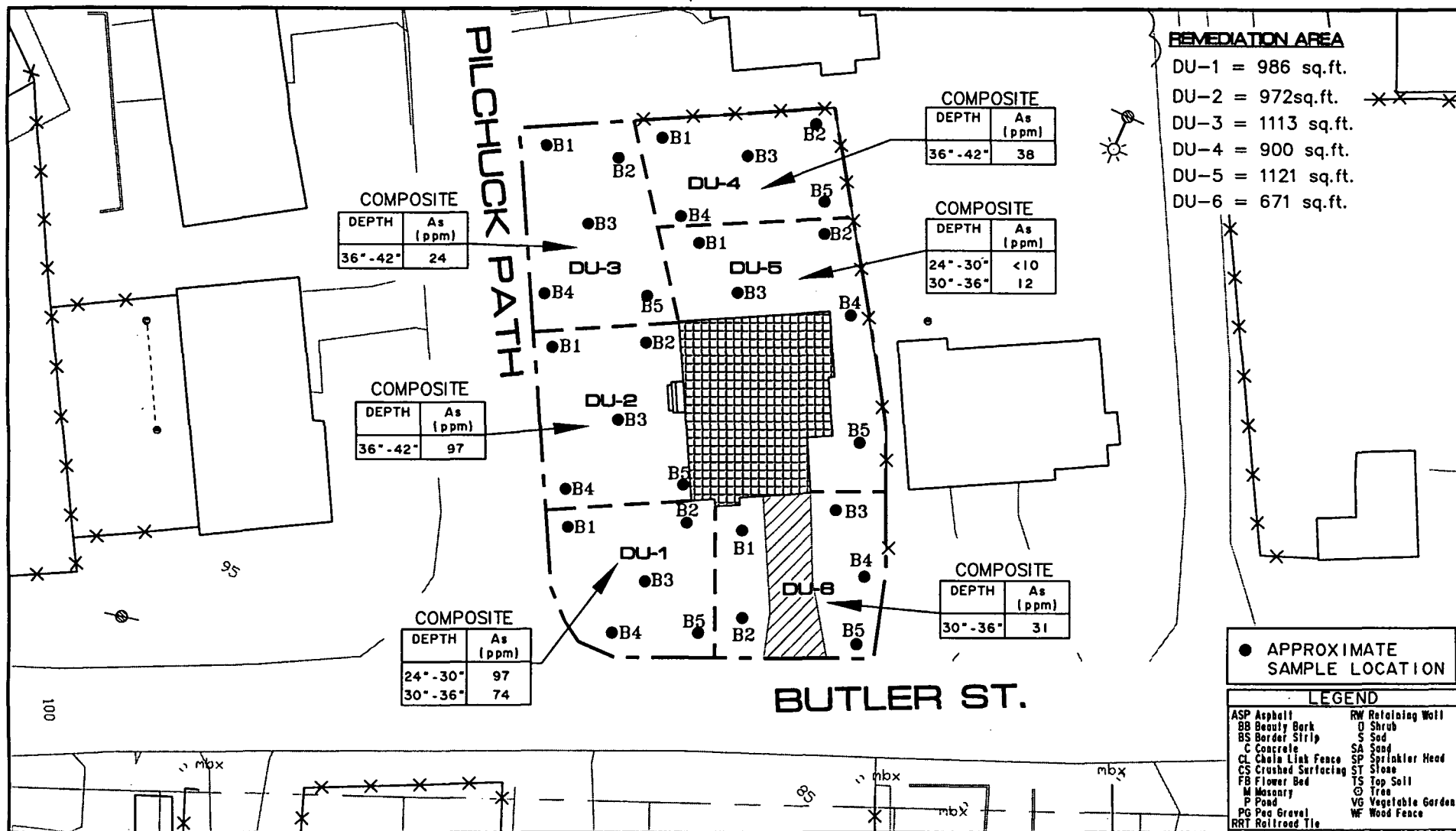
Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-18

SITE ADDRESS: 555 Pilchuck Path

PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT:



09/27/04

PERFORMANCE MONITORING

IA18ME4

Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-18

SITE ADDRESS: 555 Pilchuck Path

PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT:



0 15 30
SCALE IN FEET

2004 ANNUAL PROJECT COMPLETION REPORT

Excavation and Removal of Soils
Everett, Washington

Site Code: IA-25

Address: 558 East Marine View Drive

Property Use: Private
Property Owner: Everett Housing Authority

Description of Remediation that took place: Remediated seven of seven decision units.

Enclosures:
Site Plan
Confirmational Sampling Results

EXISTING CONFIGURATION NOTES:

- ① SHRUBS AND PLANTS
- Ⓐ WOOD AND YARD DEBRIS
- Ⓑ ROCK WALL AND RIPRAP
- Ⓒ 5' H RW, C

SITE TO BE RECONSTRUCTED TO EXISTING CONFIGURATION UNLESS NOTED BELOW.

Ⓓ RAT-PROOF DECK

Ⓔ REMOVE

PLANTS/SHRUBS TO BE REMOVED UNLESS TAGGED

NOTE: CRAWL SPACE REQUIRES A DURABLE PLASTIC BARRIER TO BE PLACED ON TOP OF THE SOIL. OWNER MUST AFFIX A WARNING PLACARD AND LOCK TO THE CRAWL SPACE ENTRY

ALLEY

EHA MAY BUILD RW AND ADD BACKFILL/CS

EAST MARINE
VIEW DRIVE

EHA TO REMOVE FENCE

LEGEND	
ASP Asphalt	RW Retaining Wall
BB Beauty Bark	⓪ Shrub
BS Border Strip	S Sod
C Concrete	SA Sand
CL Chain Link Fence	SP Sprinkler Head
CS Crushed Surfacing	ST Stone
FB Flower Bed	TS Top Soil
M Masonry	Ⓢ Tree
P Pond	VG Vegetable Garden
PG Pea Gravel	WF Wood Fence
RRT Railroad Tie	

07/29/04

PROPOSED CONFIGURATION

IA25ME4



0 15 30
SCALE IN FEET

Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-25

SITE ADDRESS: 558 East Marine View Drive

PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT:

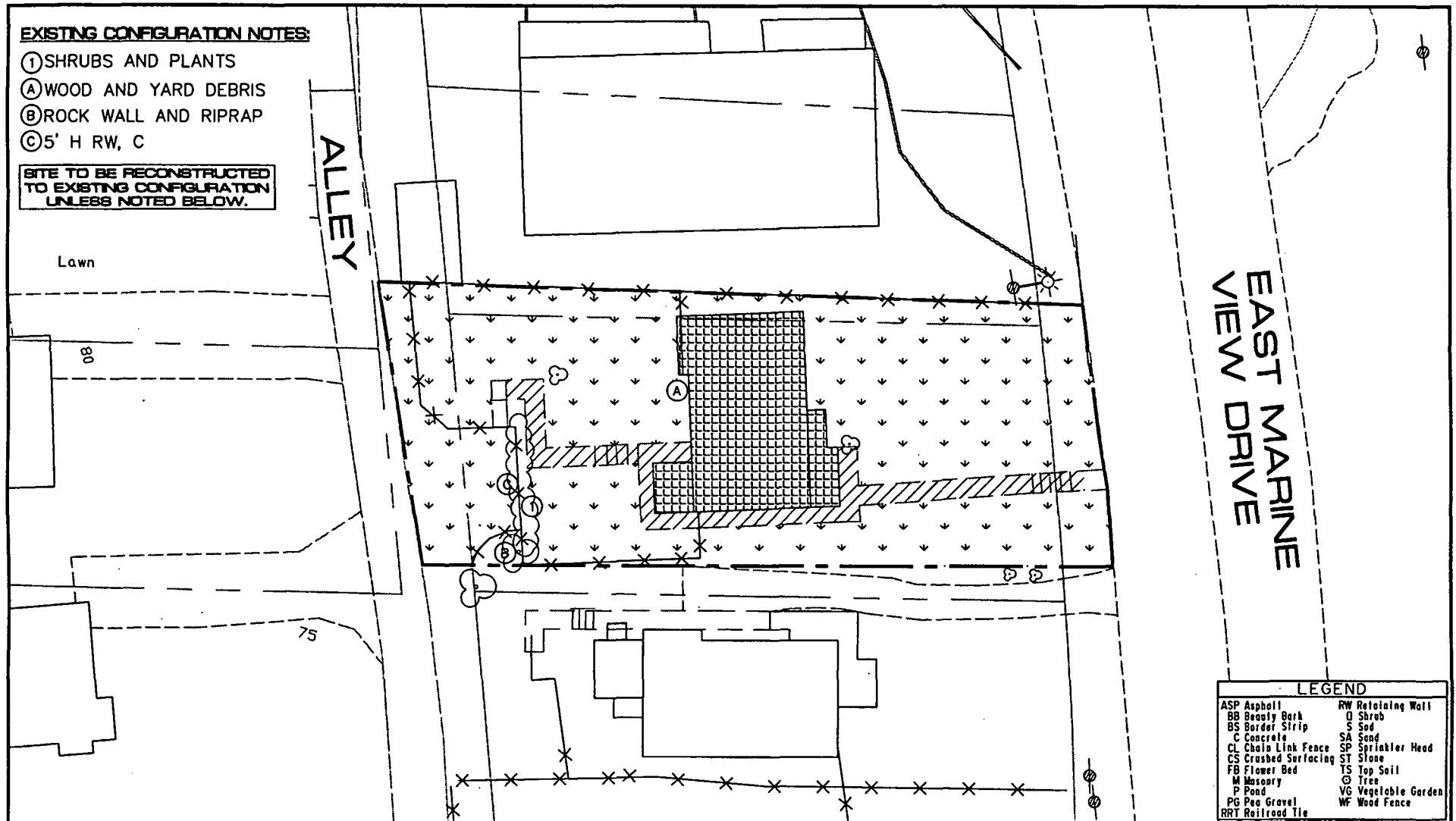
EXISTING CONFIGURATION NOTES:

- ① SHRUBS AND PLANTS
- Ⓐ WOOD AND YARD DEBRIS
- Ⓑ ROCK WALL AND RIPRAP
- Ⓒ 5' H RW, C

**SITE TO BE RECONSTRUCTED
TO EXISTING CONFIGURATION
UNLESS NOTED BELOW.**

ALLEY

EAST MARINE
VIEW DRIVE



LEGEND	
ASP Asphalt	RW Retaining Wall
BB Beauty Bark	Q Shrub
BS Border Strip	S Sod
C Concrete	SA Sand
CL Chain Link Fence	SP Sprinkler Head
CS Crushed Surfacing	ST Stone
FB Flower Bed	TS Top Soil
M Masonry	T Tree
P Pond	VG Vegetable Garden
PG Pea Gravel	WF Wood Fence
RRT Railroad Tie	

04/13/04

EXISTING CONFIGURATION

IA25ME4



0 15 30
SCALE IN FEET

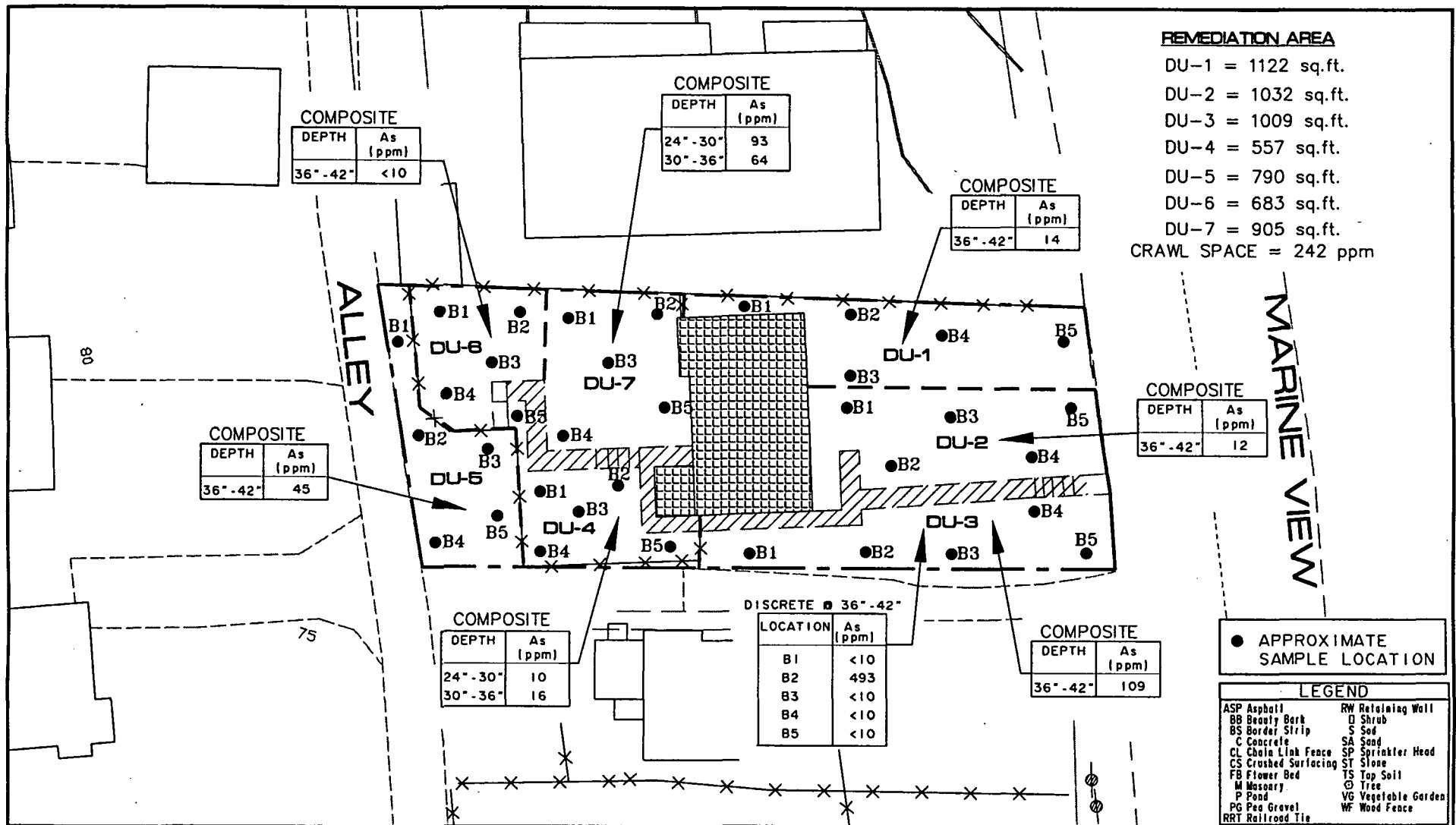
Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-25

SITE ADDRESS: 558 East Marine View Drive

PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT: _____



09/21/04

PERFORMANCE MONITORING

IA25ME4

Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-25

SITE ADDRESS: 558 East Marine View Drive

PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT:



0 15 30
SCALE IN FEET

2004 ANNUAL PROJECT COMPLETION REPORT

Excavation and Removal of Soils
Everett, Washington

Site Code: IA-26

Address: 560 East Marine View Drive

Property Use: Private
Property Owner: Everett Housing Authority

Description of Remediation that took place: Remediated five of five decision units.

Enclosures:
Site Plan
Confirmational Sampling Results

EXISTING CONFIGURATION NOTES:

- ① FB AREA, TS, BB
- ② BB UNDER DECK
- ③ FB W.TS, BS
- ④ BB
- ⑤ 5' RW, C

SITE TO BE RECONSTRUCTED
TO EXISTING CONFIGURATION
UNLESS NOTED BELOW.

- ① REMOVE FB, REPLACE WITH SOD
- ② REMOVE SOIL, REPLACE WITH CS
- ③ EHA TO REMOVE DECK & SHED
TS, SOD TO HOUSE
- ④ ASP. DRIVEWAY TO BE REMOVED
REPLACE WITH SOD

PLANTS/SHRUBS TO BE
REMOVED UNLESS TAGGED

NOTE: OWNER MUST AFFIX A WARNING
PLACARD AND LOCK TO
CRAWL SPACE ENTRY

ALLEY

EAST MARINE
VIEW DRIVE

GRADE AWAY
FROM HOUSE

MULCH

LEGEND

ASP Asphalt	RW Retaining Wall
BB Beauty Bark	S Shrub
BS Border Strip	S Sod
C Concrete	SA Sand
CL Chain Link Fence	SP Sprinkler Head
CS Crushed Surfacing	ST Stone
FB Flower Bed	TS Top Soil
M Masonry	T Tree
P Pond	VG Vegetable Garden
PG Pea Gravel	WF Wood Fence
RRT Railroad Tie	

07/29/04

PROPOSED CONFIGURATION

IA26ME4



0 15 30
SCALE IN FEET

Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-26

SITE ADDRESS: 560 East Marine View Drive

PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT: _____

EXISTING CONFIGURATION NOTES

- ① FB AREA, TS, BB
- ② BB UNDER DECK
- ③ FB W.TS, BS
- ④ BB
- Ⓐ 5' RW, C

SITE TO BE RECONSTRUCTED
TO EXISTING CONFIGURATION
UNLESS NOTED BELOW.

ALLEY

EAST MARINE
VIEW DRIVE

LEGEND	
ASP Asphalt	RW Retaining Wall
BB Beauty Bark	D Shrub
BS Border Strip	S Sod
C Concrete	SA Sand
CL Chain Link Fence	SP Sprinkler Head
CS Crushed Surfacing	ST Stone
FB Flower Bed	TS Top Soil
M Masonry	T Tree
P Pond	VG Vegetable Garden
PG Pga Gravel	WF Wood Fence
RRT Railroad Tie	

04/12/04

EXISTING CONFIGURATION

IA26ME4



0 15 30
SCALE IN FEET

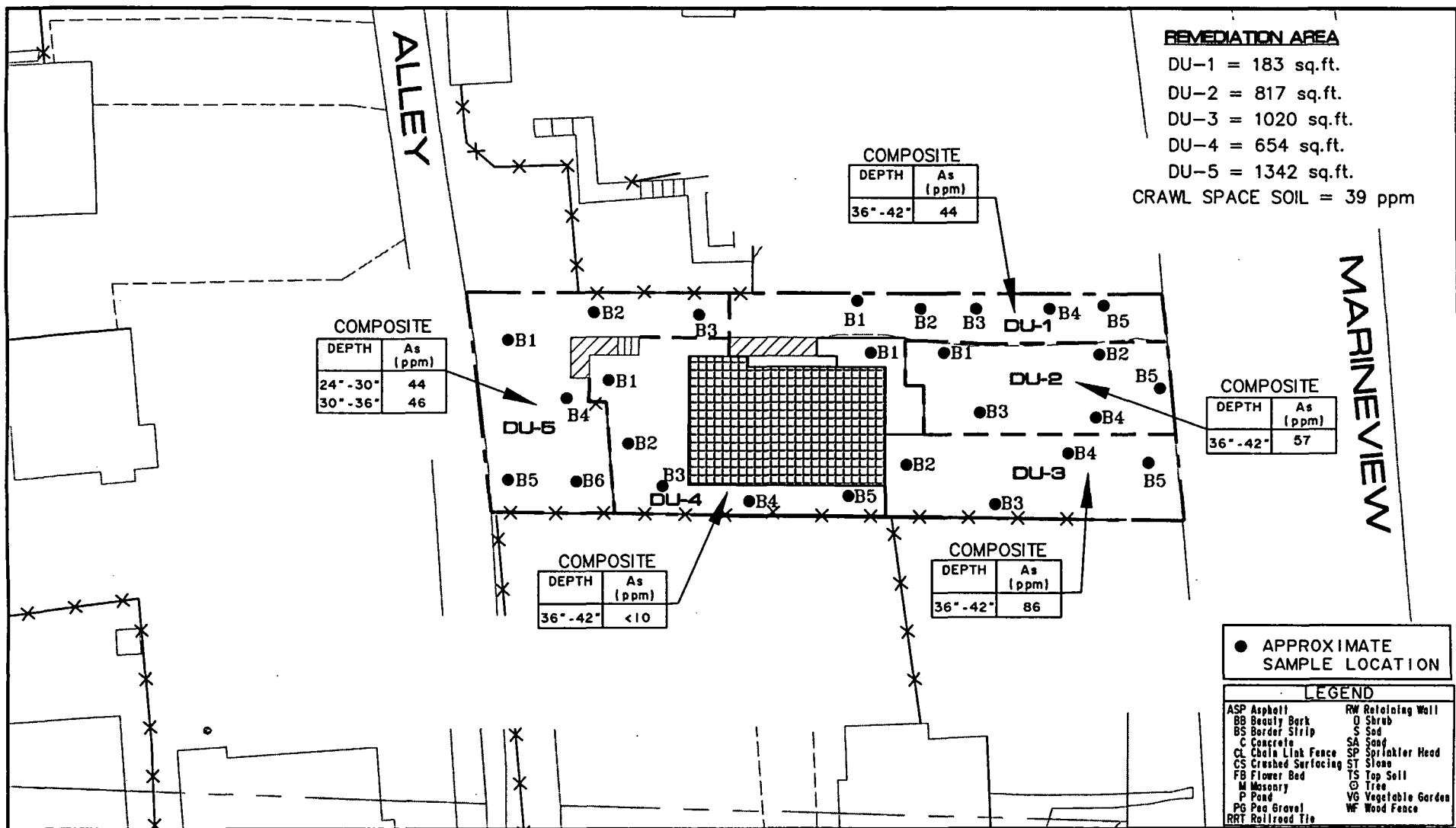
Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-26

SITE ADDRESS: 560 East Marine View Drive

PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT:



09/22/04

PERFORMANCE MONITORING

IA26ME4



0 15 30
SCALE IN FEET

Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-26

SITE ADDRESS: 560 East Marine View Drive

PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT:

2004 ANNUAL PROJECT COMPLETION REPORT

Excavation and Removal of Soils
Everett, Washington

Site Code: IA-27

Address: 566 Butler Street

Property Use: Private
Property Owner: Everett Housing Authority

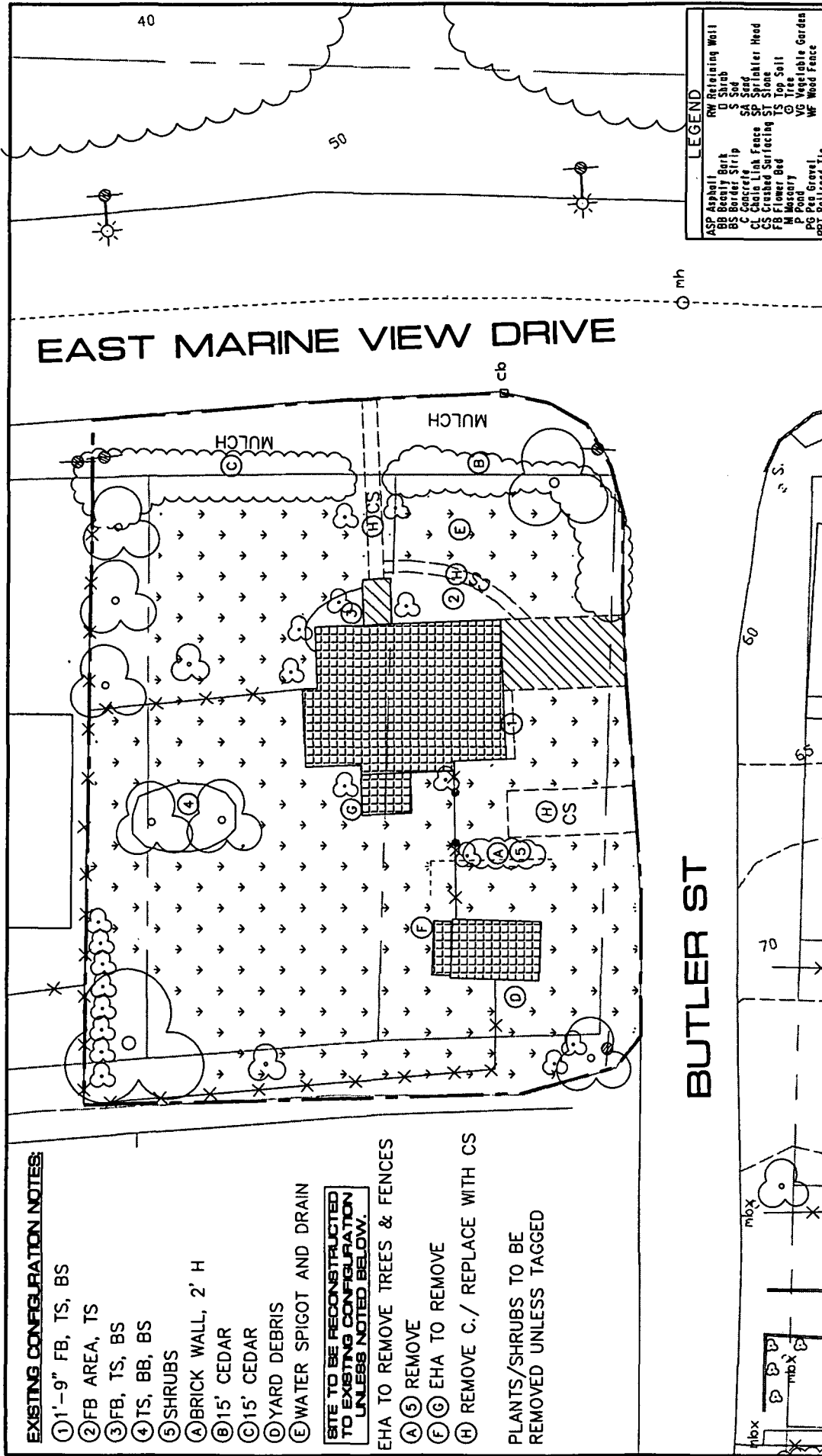
Description of Remediation that took place: Remediated thirteen of thirteen decision units.

Enclosures:
Site Plan
Confirmational Sampling Results

EXISTING CONFIGURATION NOTES:

- ① 1'-9" FB, TS, BS
 - ② FB AREA, TS
 - ③ FB, TS, BS
 - ④ TS, BB, BS
 - ⑤ SHRUBS
 - ⑥ BRICK WALL, 2' H
 - ⑦ 15' CEDAR
 - ⑧ 15' CEDAR
 - ⑨ YARD DEBRIS
 - ⑩ WATER SPIGOT AND DRAIN
- SITE TO BE RECONSTRUCTED TO EXISTING CONFIGURATION UNLESS NOTED BELOW.**
- EHA TO REMOVE TREES & FENCES
 - ④ ⑤ REMOVE
 - ⑥ ⑦ EHA TO REMOVE
 - ⑧ REMOVE C./ REPLACE WITH CS

PLANTS/SHRUBS TO BE REMOVED UNLESS TAGGED



07/29/04

PROPOSED CONFIGURATION

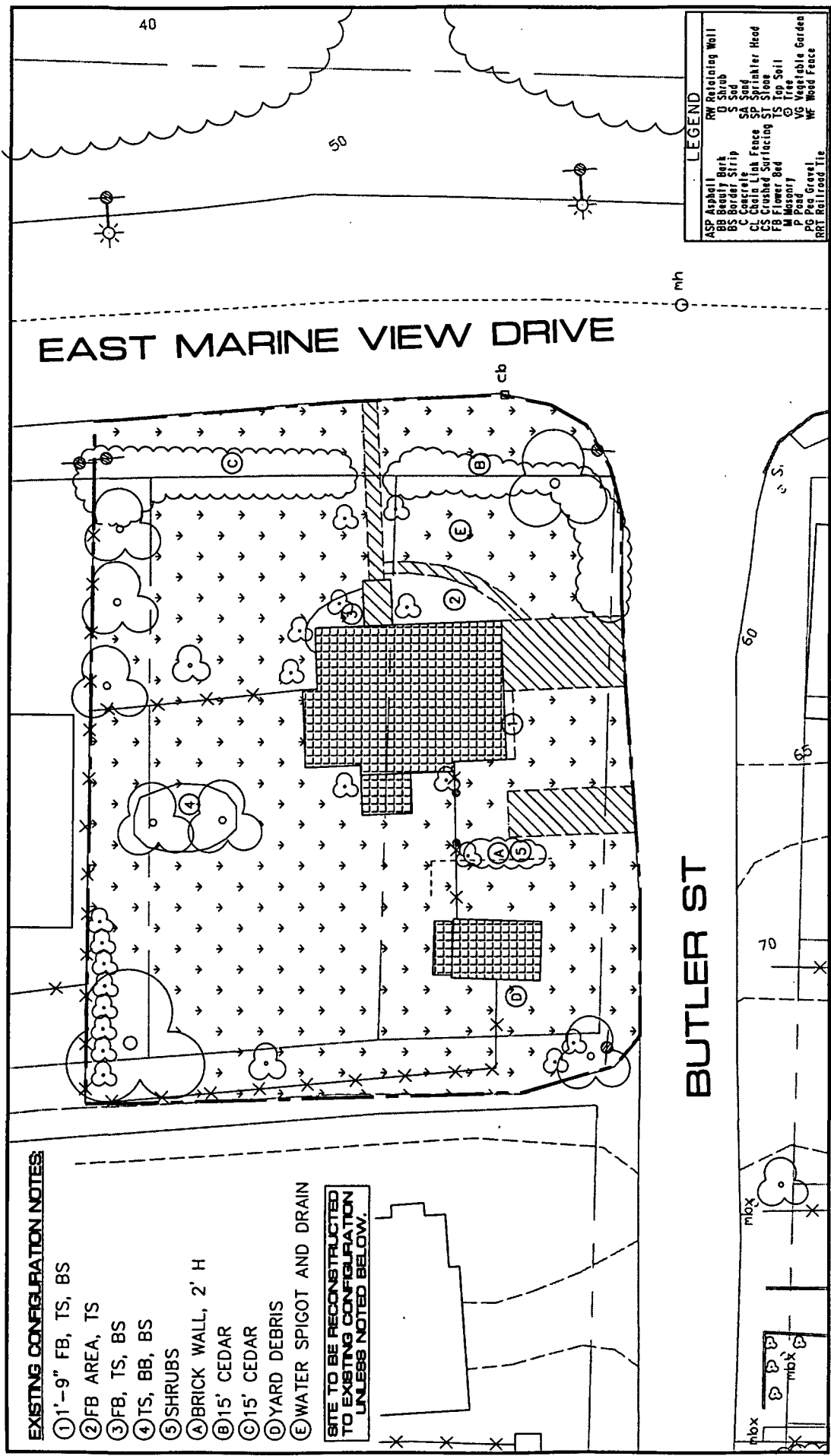
IA27ME4



SCALE IN FEET

Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-27
 SITE ADDRESS: 566 Butler
 PROPERTY OWNER: Everett Housing Authority
 PROPERTY RESIDENT:



Asarco Consulting, Inc.

PROPERTY SITE CODE: 1A-27

SITE ADDRESS: 566 Butler

PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT:

04/12/04

1A27ME4

EXISTING CONFIGURATION

NORTH

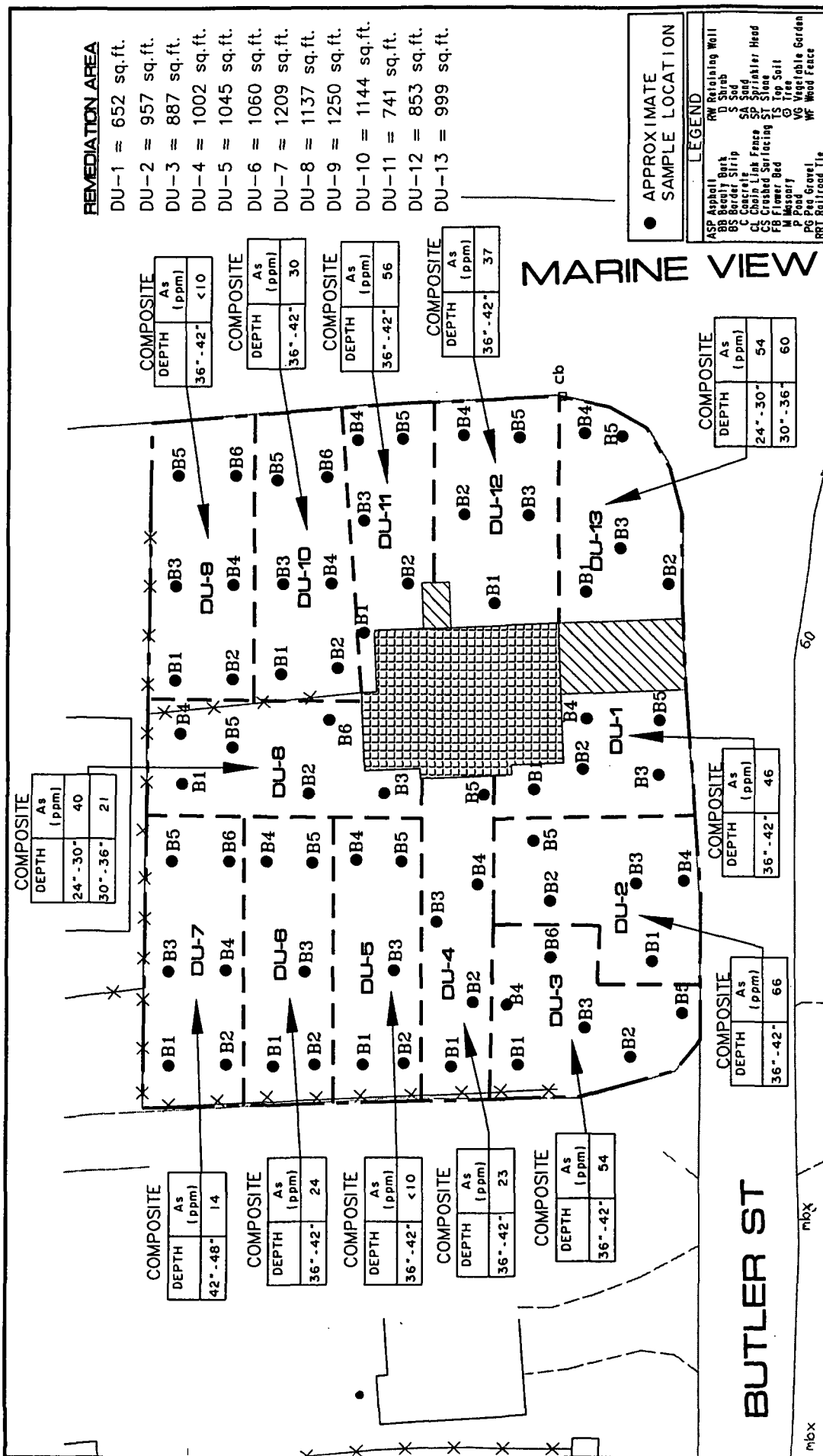
0 15 30

SCALE IN FEET

04/12/04

1A27ME4

EXISTING CONFIGURATION



Asarco Consulting, Inc.

PROPERTY SITE CODE: IA-27

SITE ADDRESS: 566 Butler

PROPERTY OWNER: Everett Housing Authority

PROPERTY RESIDENT:



SCALE IN FEET

09/22/04